



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Board of Adjustment Meeting
Wednesday, July 11, 2018 – 5:30 P.M.
6116 Broadway St – City Council Chambers

Case No. 2280 – 268 Edgewood E

Application of Blair Jones, owner, requesting the following variance(s) in order to construct a detached accessory building at the rear of the property located at 268 Edgewood E, zoned SF-A:

1. The proposed accessory structure does not meet looming standards per Section 3-19(5)(a)
2. The gable exception does not apply to accessory structures per Section 3-19(2)(a)(1) and
3. The proposed accessory structure overall height of 23ft instead of the maximum 22ft allowed with bonuses per Section 3-19(3)(a) of the City's Zoning Code.

Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notices) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Lety Hernandez (lhernandez@alamoheightstx.gov) or Jason B. Lutz (jlutz@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information.

***Plans will not be available online for all case types and floor plans will not be available online.**



6/28/18

To: City of Alamo Heights

We would like to demo our existing outdated garage which is located at 268 E Edgewood Pl and build a 2 story garage/apartment. We'll use the existing footprint which is located on the Southwest side of the property. Garage backs up to alley and follows all necessary setbacks. Garage sits on an 18" slope which should allow the increased height of 23' requested. Please see pictures. We built a 2 car carport back in 2012 which we had a few variances for and are in line with garage.

Thank you,

A handwritten signature in black ink, appearing to read "Blair Jones", is written over the typed name. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Blair Jones, Owner/Contractor

Property Address 2108 EDGEMOOD E Architecture/Structure Type CRAFTSMAN
 Original Architect _____ Year Built 1950

Lot Coverage*	EXISTING Calculations (in sq. ft.)		PROPOSED Calculations (in sq. ft.)	
	Applicant	Staff	Applicant	Staff
Lot area		9000		9000
Main house footprint		1848		1848
Front porch		24		24
Side porch 1				
Side porch 2		32		32
Rear porch		72		72
Garage footprint		240		450
Carport footprint		480		480
Shed footprint				
Breezeways				
Covered patio structure				
Other accessory structures				
Total (total lot coverage/lot area):	/	/	/	2906 9000
Total Lot Coverage:	___ %	___ %	___ %	32%
Floor Area Ratio (FAR)**	Applicant	Staff	Applicant	Staff
Lot area		9000		9000
Main house: 1st floor		1848		1848
Main house: 2nd floor		0		0
Garage: 1st floor		240		450
Garage: 2nd floor		0		450
Other structures (unless exempted - see below)		480		480
Total (total FAR/lot area):	/	2568 9000	/	3228 9000
Total FAR:	0. ___	0.29	0. ___	36%
Height of Main Structure:				

*Lot coverage is defined as the percentage of the total lot area covered by a roof, floor or other buildings excepting eaves. Carports, sheds, porches, covered pedestrian walkways, breezeways, arbors, gazebos and covered patios are included in lot coverage calculations (Exception: The maximum lot coverage shall exclude free-standing entryway arbors with open-air lattice framework under fifty (50) square feet in area and eight (8) feet in height, and other free-standing open-air lattice/trellis structures located within a side or rear yard up to twelve (12) feet in height, totaling three hundred (300) square feet or less and subject to other standards governing accessory structures.

**Floor area ratio (FAR) is defined as the ratio of the total above ground gross floor area of all structures on a site to the total square footage of a lot (for example, a FAR of .53 for a seven thousand five hundred (7,500) square foot lot is three thousand nine hundred seventy-five (3,975) gross square feet (.53 X 7,500) of floor area). The following areas shall be included when computing the gross floor area:

- (1) Exterior walls: The thickness of the wall shall be included in the calculation;
- (2) Above grade floor area: Any room that has a wall surface that extends more than three (3) feet above grade;
- (3) Laundry rooms, mechanical rooms, storage rooms, built-in cabinets and media niches;
- (4) Mezzanines and lofts;
- (5) Floor area used by stairways, elevators, escalators and similar features. The floor area of each run of stairs shall be counted once;
- (6) Vaulted ceilings: the floor area shall be counted at the actual floor area only and not in the air spaces;
- (7) Usable spaces (generally defined as having a five (5) foot minimum height) such as rooms, closets and cabinets under a run of stairs;
- (8) Exterior structures and additions with a solid roof and enclosed on more than two (2) sides in whole or part with permanent solid walls or windows such as porches, balconies, patios and breezeways;
- (9) Attached and detached garages and carports; and
- (10) Accessory buildings such as sheds, pool houses, guest houses, bonus rooms and second units.

The following areas shall not be included when computing the gross floor area:

- (1) Below grade floor area: any area that has a wall surface that extends less than three (3) feet above grade;
- (2) Porches, balconies, patios, breezeways, decks, overhangs, eaves, cantilevers and awnings with solid roof-like cover, but not enclosed on more than two (2) sides;
- (3) Porches, balconies, patios, breezeways and decks that do not have a solid roof-like cover; and
- (4) Attic space that is not habitable. If made habitable in the future, shall be included in floor area ratio.

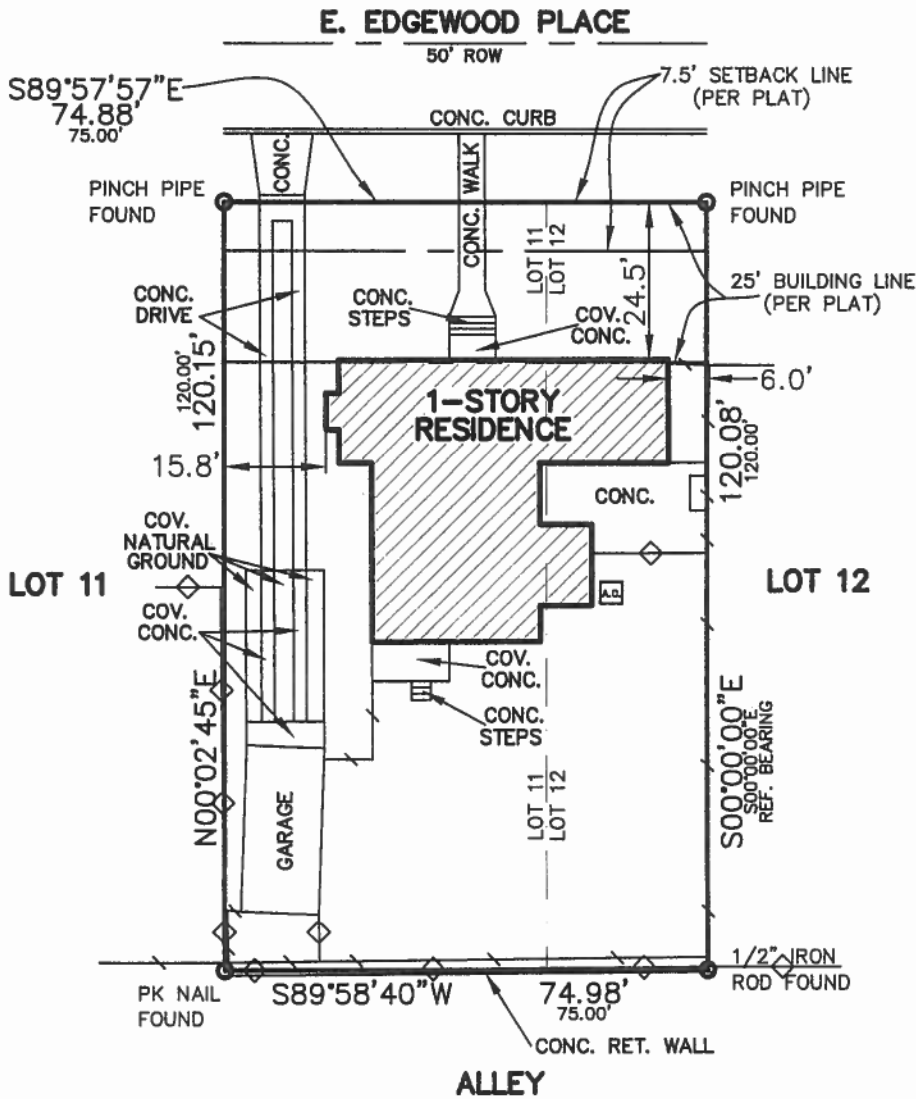
Definitions as listed per City of Alamo Heights "Code of Ordinances" can be found at www.municode.com (Ch. 3 "Zoning," Sec. 3-2 "Definitions")

SUBJECT TO RECORDED RESTRICTIVE COVENANTS AND/OR EASEMENTS AS FOLLOWS:

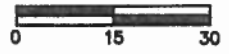
VOL. _____ PAGE _____ RECORDS VOL. _____ PAGE _____ RECORDS
 VOL. _____ PAGE _____ RECORDS VOL. _____ PAGE _____ RECORDS

N45°00'00"E 100.00' RECORD INFORMATION S45°00'00"W AS MEASURED IN FIELD 100.00' X BARBED WIRE Δ SMOOTH WIRE \ | / WOOD FENCE
 ○ IRON FENCE ◇ CHAIN LINK FENCE ← WATER FLOW

NOTE: THE BUILDING SETBACK LINES PER PLAT ARE A MINIMUM 25' AND A MAXIMUM OF 30'.



This Survey is acknowledged and accepted by:
 Robert Blair
 Holly Marie Jones



*THE EAST 50 FEET OF LOT 11 AND THE WEST 25 FEET OF LOT 12

I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, OF THE PROPERTY DESCRIBED HEREON. I FURTHER CERTIFY THAT ENCROACHMENTS, EASEMENTS AND RIGHT-OF-WAYS VISIBLE ON SITE ARE SHOWN HEREON. SETBACKS AND EASEMENTS SHOWN ARE FROM RECORDED COUNTY DOCUMENT RECORDS. MUNICIPAL RESTRICTIONS ARE NOT SHOWN. COPYRIGHT © 2007 STEPHEN G. COOK ENGINEERING, INC. ALL RIGHTS RESERVED

Stephen G. Cook
 STEPHEN G. COOK, R.P.L.S.



LOT(S) * _____ BLOCK 14 N.C.B. -
 SYLVAN-HILLS SUBDIVISION, THIRD FILING, CITY OF ALAMO HEIGHTS VOLUME 1625 PAGE 106
 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.
 WITNESS MY HAND AND SEAL THIS 8 DAY OF JUNE, 20 07
 BUYER ROBERT BLAIR AND HOLLY MARIE JONES
 ADDRESS 268 E. EDGEWOOD PLACE GF NO. 979828-SA90
 STEPHEN G. COOK, INC. JOB NO. 999-888-366 DRAWN BY: DVQ DISK: CAD/S SURV. BY RP



12000 STARCREST, SUITE 107
 STEPHEN G. COOK ENGINEERING, INC. SAN ANTONIO, TEXAS 78247-4117
 REGISTERED LAND SURVEYORS 210/481-2533 * FAX: 210/481-2150
 WWW.SGCE.NET

















PLU 153 10102

Property of City of Albany, Oregon

268 EAST EDGEWOOD PLACE

SAN ANTONIO TEXAS 78209

JASON MORAN
COLLABORATIVE DESIGNER

268 EAST EDGEWOOD
SAN ANTONIO, TEXAS 78209

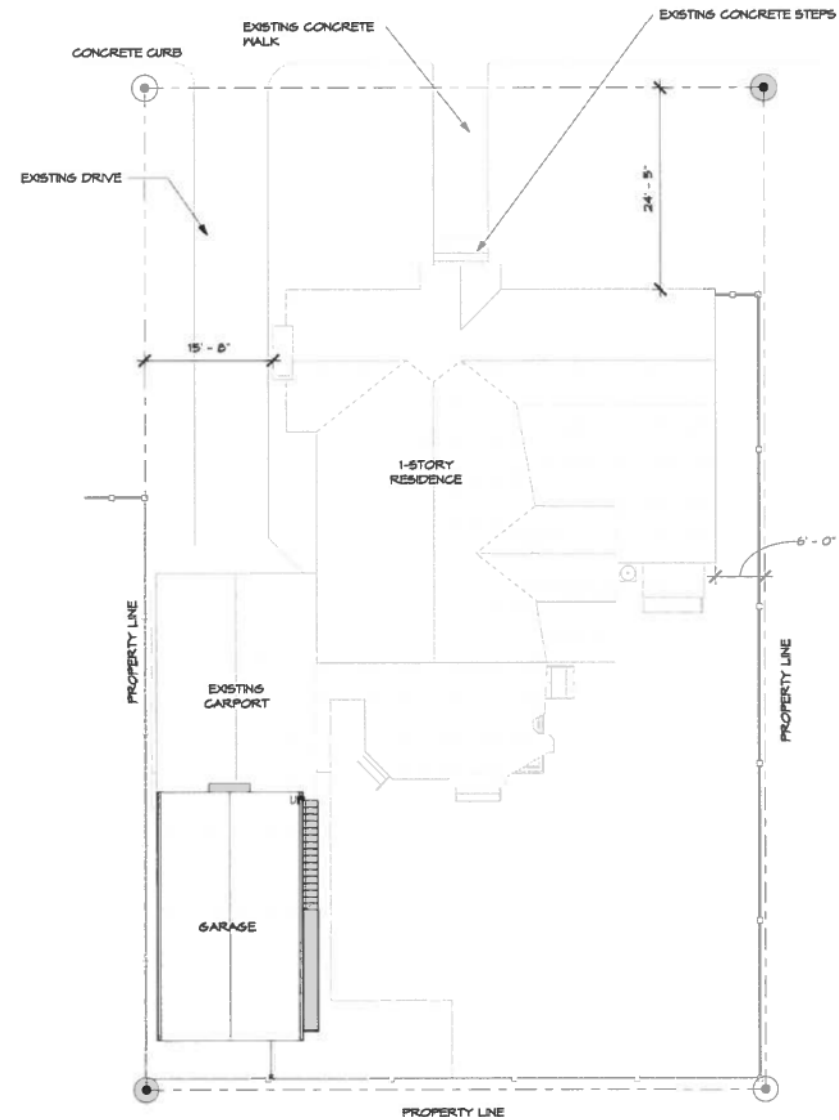
1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATER-TIGHT AND WEATHER-TIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT AND BY ENTERING INTO THIS CONSTRUCTION CONTRACT WARRANTS FOR ONE FULL-YEAR THE ADEQUACY OF THESE DETAILS.
2. THE INTENT OF THE DRAWINGS IS TO PROVIDE FOR A PLUMB, LEVEL AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED.
3. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS.
4. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF OR HERSELF WITH EXISTING CONDITIONS, DRAWINGS AND SPECIFICATIONS.
5. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND SHOULD BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES.
6. DETAILS ARE MEANT TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS. ALL INCLUDED AS PART OF THE WORK.
7. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
8. THE CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PADS AND PANELS AS WELL AS PIPES, MATES, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT AND EQUIPMENT MANUFACTURERS.
9. ALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS (I.E. 6" = 5 1/2").
10. ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
11. CONTRACTOR TO PROVIDE DUMPSTER AND TEMPORARY TOILET. SITE SHOULD BE CLEANED REGULARLY.
12. ALL DIMENSIONS ARE TO FACE OF STUD OR WALL FACE UNLESS OTHERWISE NOTED.
13. INTERIOR WALLS TO BE 2X4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED FOR PLUMBING WALLS.
14. EXTERIOR WALLS SHALL MATCH EXISTING STRUCTURE. IF NEW CONSTRUCTION, SHALL BE 2X4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
15. ALL RESIDENTIAL STRUCTURES SHALL USE 5/8" TYPE X SHEETROCK FOR ALL NEW STRUCTURE AND WHERE GREATER THAN 50% OF A WALL SURFACE IS REMOVED, CONCRETE BOARD OR HARDIE BACKER TYPE MATERIAL AT ALL "NET AREAS". USE CEMENT BACKER BOARD AT ALL TILED WALLS, OR FULL BRT MORTAR BACKING AT TILED WALLS.
16. ELECTRICAL AND HVAC INSTALLER TO COORDINATE THEIR WORK.
17. A/C PLAN TO BE PROVIDED BY CONTRACTOR AND COORDINATED WITH DESIGNER AND OTHER TRADES. BUILDING CODES, PROVIDE COST ESTIMATE FOR HIGH EFFICIENCY VARIABLE SPEED ZONED SYSTEM WITH MAXIMUM EFFICIENCY FILTERING SYSTEM.
18. EXTERIOR WALL SHEATHING - 1/2" PLYWOOD OR ORIENTED STRAND BOARD WRAPPED WITH TYVEK EXTERIOR WATER RESISTANT BARRIER. SEE PROJECT MANUAL FOR CORRECT INSTALLATION OF TYVEK.
19. FOR WATER DISTRIBUTION PIPING ONLY TYPE L SHALL BE USED. TYPE M COPPER, CPVC & PEX NOT ALLOWED.
20. INTERIOR WALLS TO BE LIGHT TEXTURE FINISH WITH 3 COATS PAINT (SATN). INTERIOR TRIM TO BE PREPARED FOR PAINTING - 3 COATS PAINT (SEMI-GLOSS) INTERIOR TRIM - ALL INTERIOR TRIM TO BE PAINTED WOOD.
21. ALL PLYWOOD AND HARDWOODS AT CABINETS AND SHELVING TO BE "PREMIUM GRADE" AND TO BE FORMALDEHYDE FREE.
22. PROVIDE SINKER CLEANOUTS AS REQUIRED TO SERVICE ALL PLUMBING. VERIFY LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.
23. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR BACKFLOW PREVENTION DEVICES ON ALL INDIVIDUAL PIECES OF EQUIPMENT AS INDICATED IN TCE&G REGULATIONS.
24. CONTRACTOR SHALL INSTALL VACUUM BREAKER DEVICES ON ALL EXTERIOR HOSE BIBS.
25. CONTRACTOR SHALL INSTALL ARC FAULT CIRCUIT INTERRUPTION PROTECTION ON ALL ELECTRICAL CIRCUITS PER NEC 210.12.
26. SMOKE DETECTORS ARE REQUIRED IN EACH BEDROOM ENTRY AND ADJOINING HALL. CEILING SMOKE DETECTORS SHALL BE ELECTRICALLY HARDWIRED WITH A BATTERY BACKUP. ALL SMOKE DETECTORS SHALL ALSO BE ELECTRICALLY

29. ALL WALLS WITH DRAIN-WASTE-VENT PLUMBING SHALL BE 2X6 LUMBER.
 30. ATTIC ACCESS, MINIMUM OPENING 25.5" X 54", SHALL SUPPORT 350 LBS WITH 20 MINUTES FIRE RESISTANCE.
 31. ALL MECHANICAL EQUIPMENT EXHAUST MUST TERMINATE ON THE EXTERIOR OF THE STRUCTURE.
 32. ALUMINUM WIRING IS PROHIBITED AND 12/2 WITH GROUND IS THE SMALLEST CONDUCTOR SIZE ALLOWED.
 33. NO GREEN/PURPLE ROCK FOR TUB/SHOWER ENCLOSURE
 34. LOCATE ALL ROOF VENTS FROM STREET VIEW WHERE POSSIBLE. PAINT TO MATCH ROOF COLOR.
- STANDARDS AND REGULATIONS
APPLICABLE STANDARDS OF CONSTRUCTION INDUSTRY AND BUILDING CODES HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS. GOVERNING REGULATIONS HAVE PRECEDENCE OVER NONREFERENCED STANDARDS. IN SO FAR AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS, COMPLY WITH LOCAL BUILDING CODES AND INDUSTRY STANDARDS. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THESE STANDARDS AND REGULATIONS AND FOR THE CONSTRUCTION PERMITS. THE INSTALLATION SHALL MEET THE MINIMUM STANDARD PRESCRIBED IN THE LATEST EDITION AND AMENDMENTS OF THE FOLLOWING STANDARDS. THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL CODES AND THE NEC.:

1. BUILDING CODES.....2015 INT. RESIDENTIAL CODE
2. PLUMBING CODE.....2015 UNIFORM PLUMBING CODE
3. MECHANICAL.....2015 INTERNATIONAL MECHANICAL CODE
4. ELECTRICAL CODE.....2014 NATIONAL ELECTRICAL CODE

ALL MECHANICAL, ELECTRICAL, AND PLUMBING INDICATED ON DRAWINGS IS SIMPLY TO AID

268 E. EDGEWOOD



1 SITE PLAN
1/32" = 1'-0"
NORTH

SHEET NUMBER	SHEET NAME
A-1.0	COVER
A-1.1	DEMO PLAN
A-1.2	ENLARGED SITE PLAN
A-2.1	FLOOR PLAN / ROOF PLAN
A-2.2	INTERIOR ELEVATIONS
A-3.1	EXTERIOR ELEVATIONS
A-4.1	POWER AND LIGHTING PLAN / PERSPECTIVES

LOCATION MAP



VICINITY MAP



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ISSUE:
CONSTRUCTION DRAWINGS

COVER SHEET

PROJECT NO: 1813
DATE: 06.25.2018
DRAWN BY: JM

A-1.0

DEMOLITION NOTES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT
3. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES WHERE REQUIRED TO PROTECT THE PUBLIC.
4. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES. ANY ASBESTOS REMOVAL SHALL BE DONE PRIOR TO ANY DEMOLITION WORK. THIS WORK SHALL BE DONE BY A LICENSED ABATEMENT COMPANY.
5. IF THERE IS ANY CONCERN WHETHER A INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIME. IF REQUIRED PROVIDE FRAMING & STRUCTURE DUE TO REMOVAL OF LOAD BEARING ELEMENTS.
6. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL / SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
7. WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP & ROOF PENETRATION, REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS A PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW SLAB, MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK SHALL BE DONE BY A LICENSED PLUMBER. NO DEAD WATER LEGS.
8. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
9. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTING AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.

10. DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES,

LOCATIONS AND HEIGHTS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.

11. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER, AND DESIGNER PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.

12. DASHED LINES ON DEMOLITION PLAN INDICATED EXISTING MATERIALS TO BE REMOVED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.

13. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.

14. REPAIR SOFFIT, CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK.

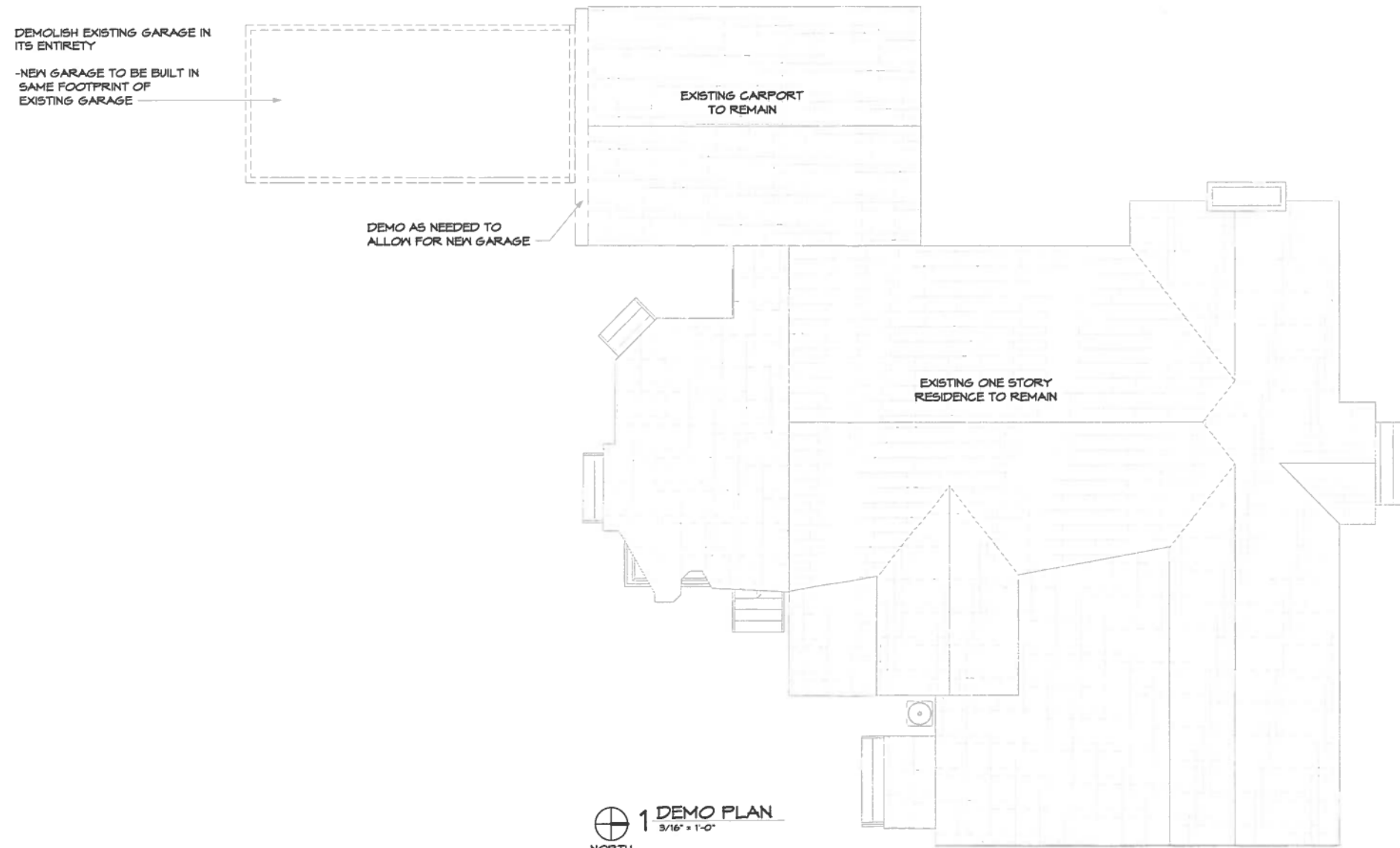
15. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.

16. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION.

17. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE RESIDENCE.

18. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.

19. COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AS INDICATED IN PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS WHEN PRESENT. EXISTING MILLWORK, LIGHTING AND PLUMBING FIXTURES NOT TO BE REUSED.



1 DEMO PLAN
3/16" = 1'-0"
NORTH



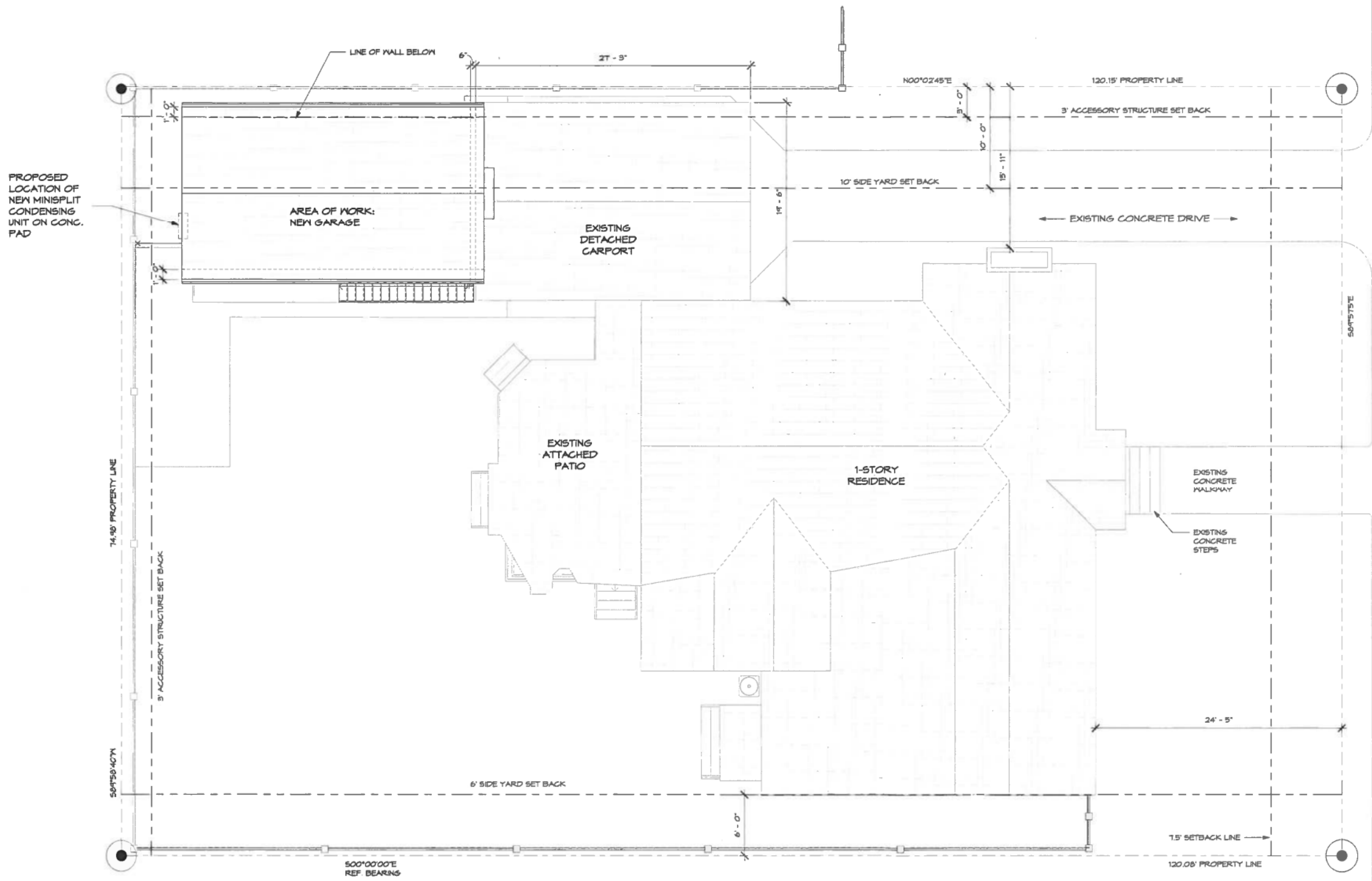
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ISSUE:
CONSTRUCTION DRAWINGS

DEMO PLAN

PROJECT NO: 1813
DATE: 06.25.2018
DRAWN BY: JM



1 ENLARGED SITE PLAN
 3/16" = 1'-0"
 NORTH

268 E. EDGEWOOD

268 EAST EDGEWOOD
 SAN ANTONIO, TEXAS 78209

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ISSUE:
 CONSTRUCTION DRAWINGS

ENLARGED SITE PLAN

PROJECT NO:	1813
DATE:	08.25.2018
DRAWN BY:	JM



268 EAST EDGEWOOD
SAN ANTONIO, TEXAS 78209

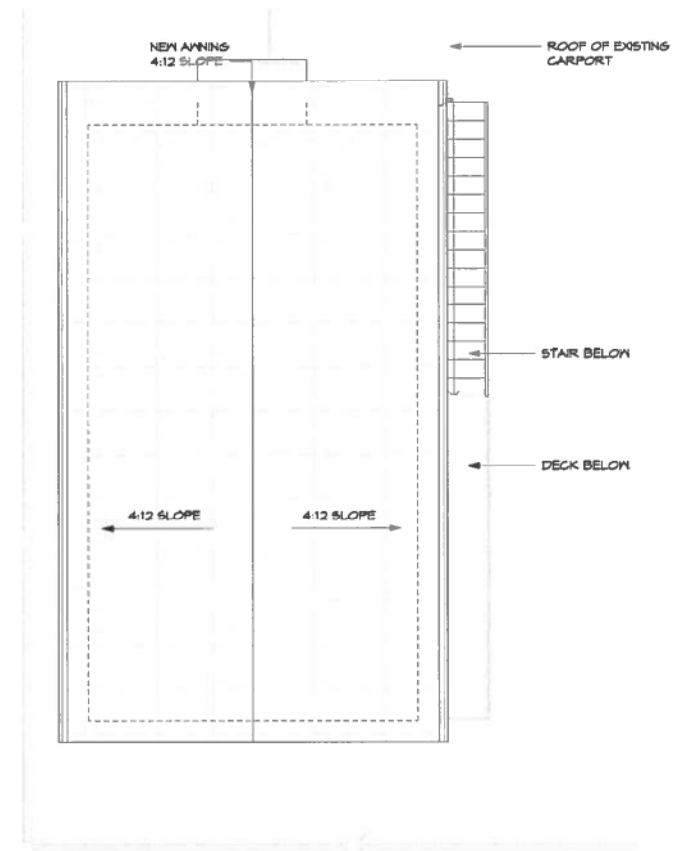
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ISSUE:
CONSTRUCTION DRAWINGS

FLOOR PLAN /
ROOF PLAN /
INTERIOR
ELEVATIONS

PROJECT NO: 1813
DATE: 06.25.2018
DRAWN BY: JM



 **3 ROOF PLAN**
1/4" = 1'-0"

T-6

268 EAST EDGEWOOD
SAN ANTONIO, TEXAS 78209

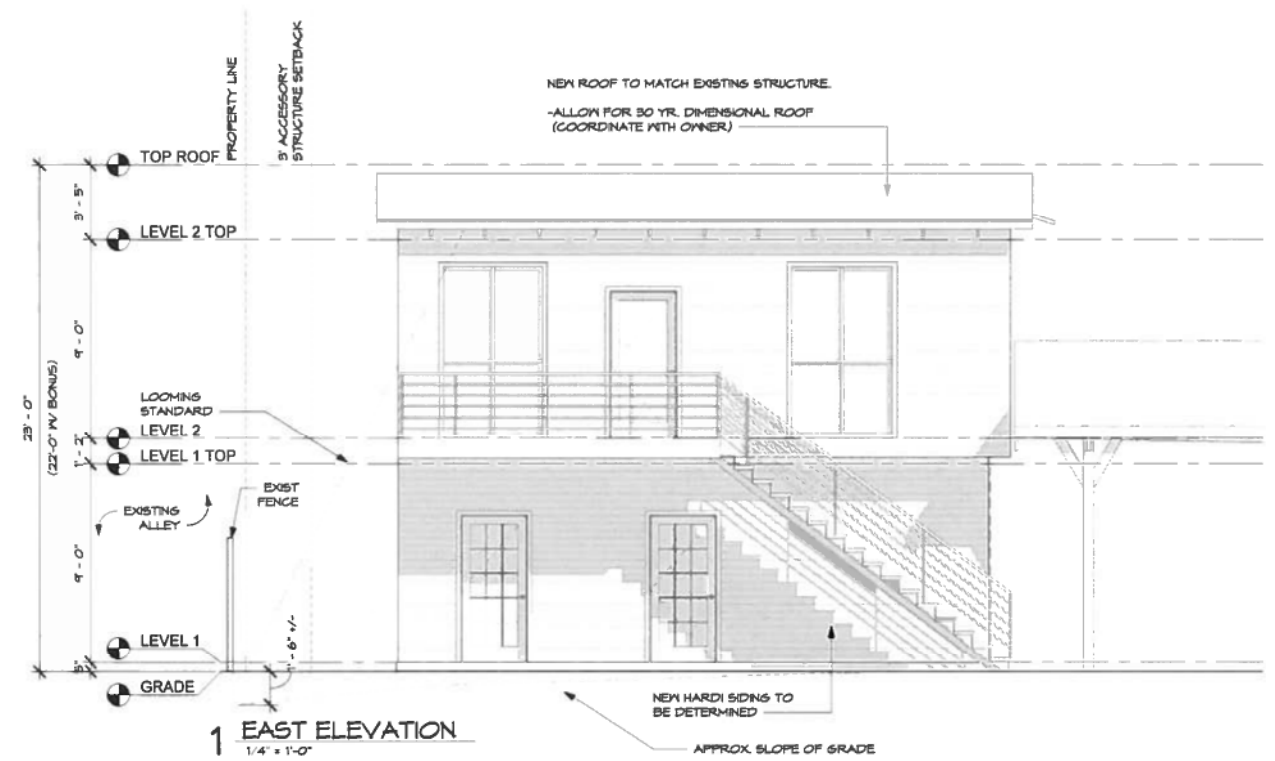
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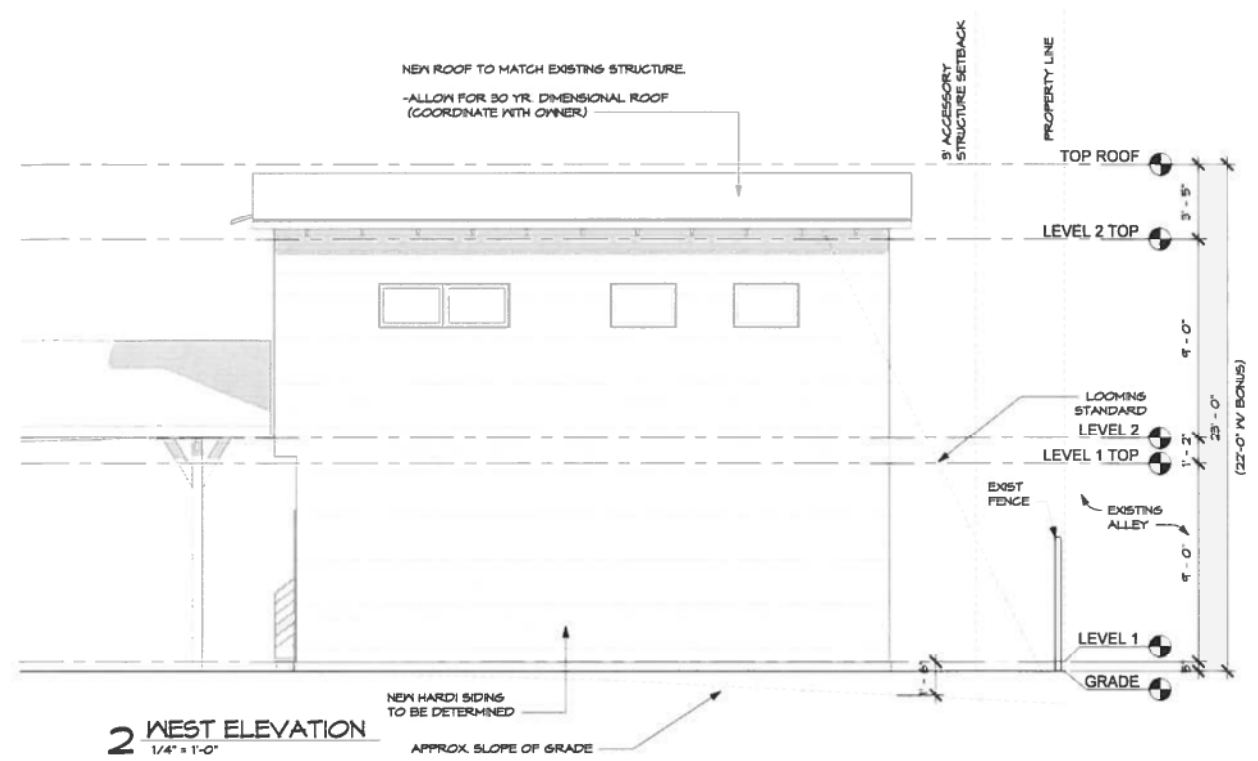
ISSUE:
CONSTRUCTION DRAWINGS

ELEVATIONS

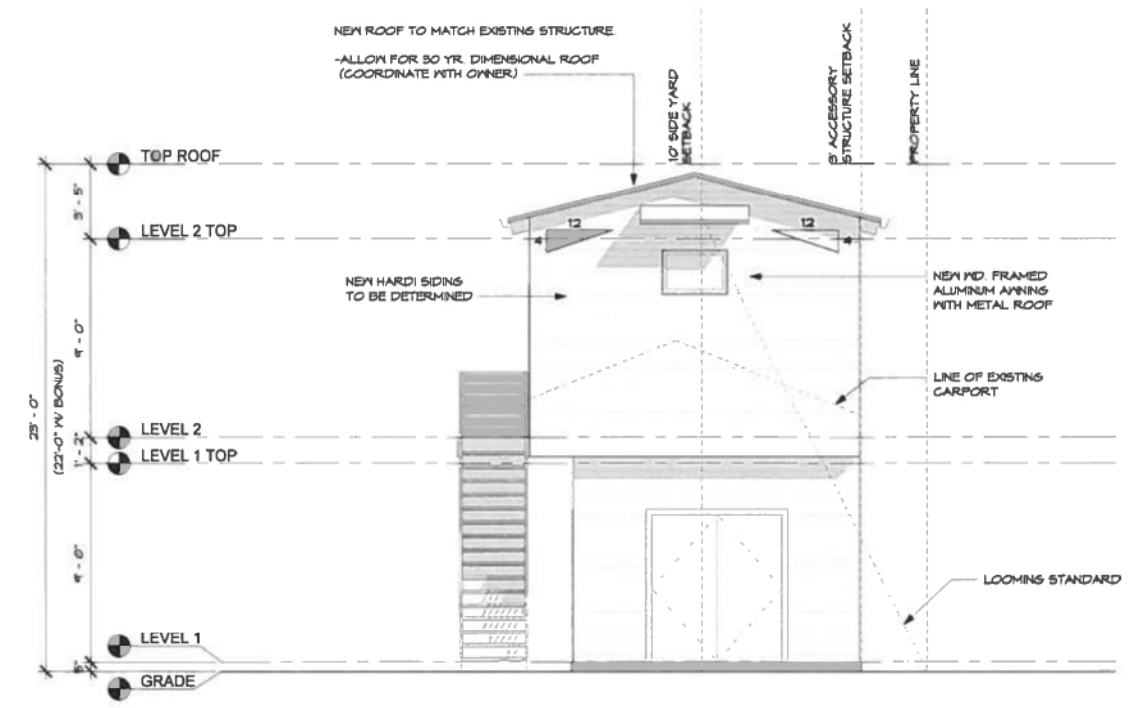
PROJECT NO: 1813
DATE: 06 25 2018
DRAWN BY: JM



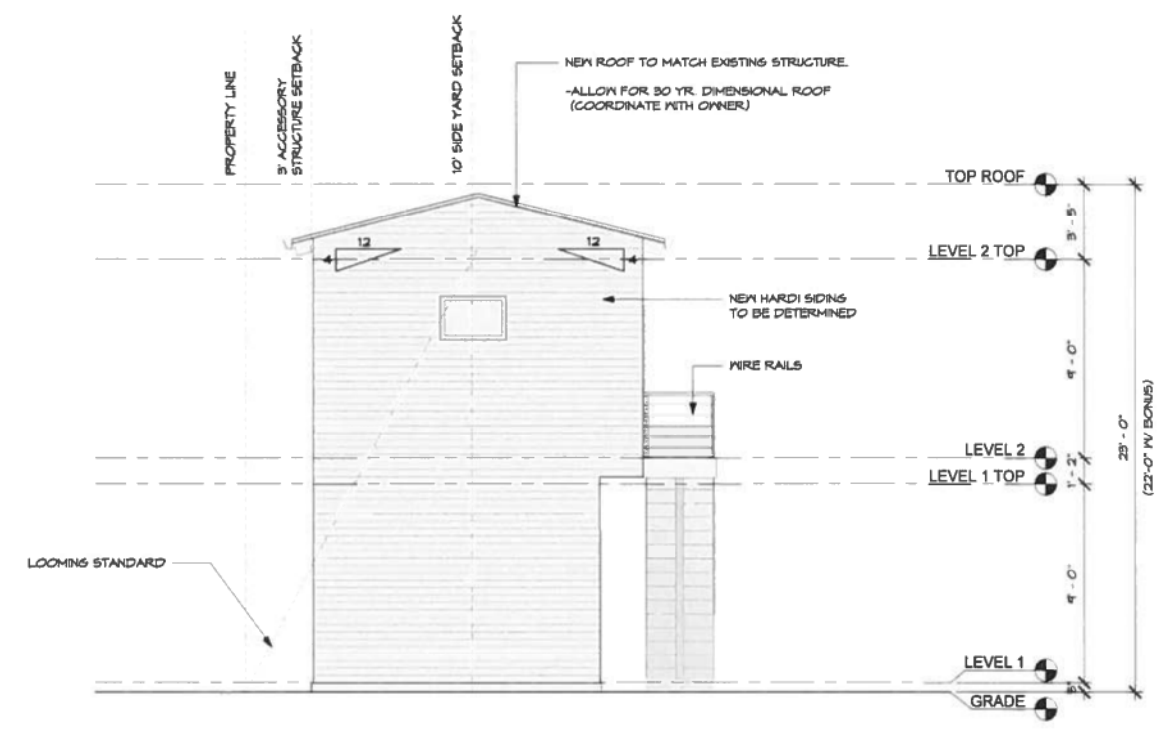
1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"



268 EAST EDGEWOOD
SAN ANTONIO, TEXAS 78209

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ISSUE:
CONSTRUCTION DRAWINGS

**POWER AND
LIGHTING PLAN /
PERSPECTIVES**

PROJECT NO: 1813
DATE: 08.25.2018
DRAWN BY: JM

POWER PLAN LEGEND

○ A	4" RECESSED CAN LIGHT	SB	3 WAY LIGHT SWITCH	⏏	DUPLEX OUTLET
○ B	RECESSED CAN AT SHOWER MOISTURE RESISTANT	⊕	SMALL PENDANT LIGHT FIXTURE TO BE SELECTED BY OWNER	⏏	220V OUTLET
○ C	HALL MOUNTED LIGHT FIXTURE	⊕	LARGE PENDANT LIGHT FIXTURE TO BE SELECTED BY OWNER	GFI	GROUND FAULT INTERRUPTED
D	DIMMER	⊕	AUBE 54" 3 BLADE CEILING FAN WITH REMOTE	WP	WEATHER PROOF
S	LIGHT SWITCH			⋯	LIGHT PATH
				⊠	HEATER / VENT



4 PERSPECTIVE



5 PERSPECTIVE