



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

Architectural Review Board Meeting
February 18, 2025 – 5:30 P.M.

Take notice that a regular Architectural Review Board meeting of the City of Alamo Heights will be held on **Tuesday, February 18, 2025 at 5:30pm** in the City Council Chamber, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects with may come before it.

INSTRUCTIONS FOR TELECONFERENCE: Members of the public may also participate via audio by dialing 1-346-248-7799 Meeting ID 868 0184 5240. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.

Case No. 968P – 1001 Townsend Ave (Cambridge Elementary)

Request of Benjamin Rosas of LPA Design Studios, applicant, representing Mike Hagar of the Alamo Heights Independent School District, owner, for the preliminary design review of the proposed addition to the existing academic structure located at 1001 Townsend Ave. *(No action required)*

Chapter 5 of Code of Ordinances (Buildings and Building Regulations) requires City Council to consider the ARB’s recommendation for all demolition/final design review applications. Please check the ARB posted results on the City’s website after the ARB meeting to confirm any future meeting dates.

Plans may be viewed online at <http://www.alamoheightstx.gov/departments/planning-and-development-services/public-notices/> and at the Community Development Services Department located at 6116 Broadway St. You may contact Dakotah Procell, Planner at 210-832-2239 (dprocell@alamoheightstx.gov) or Lety Hernandez, Director, at 210-832-2250 (lhernandez@alamoheightstx.gov), or our office at (210) 826-0516 for additional information regarding this case.



Notice of Intent
COMMUNITY DEVELOPMENT SERVICES
6116 Broadway St, San Antonio, Texas 78209
v: (210) 826-0516 f: (210) 832-2299

This Notice must be submitted prior to the deadline for submission to any board or commission and must be presented before City Council prior to any hearing before a board or commission. Any project information provided herein is considered preliminary and subject to alteration/revision throughout the development review process.

PROJECT INFORMATION

Proposed project's current legal address: 1001 Townsend Ave, San Antonio, TX 78209

Current property use: Residential Multi-Family Commercial

Current Zoning District(s) of the proposed project site: MF-D O-1 B1 B2 B3

Proposed project property size: existing (acres) to match existing (square feet)

Proposed property use: Residential Multi-Family Commercial Mixed-Use: Describe uses: _____

Interior renovation of existing elementary school campus, MEP Systems Replacement, and Cafeteria Expansion.

Proposed building square footage: 123,664 (square feet)

Proposed building height: 3 (stories) varies (feet)

Does the conceptual project require/anticipate? Variances Re-Platting Re-Zoning
 Specific Use Permit Conveyance of Public Property

APPLICANT/OWNER

Applicant's Name: Benjamin Rosas

Applicant's Organization: LPA Design Studios

Applicant's Address: 1811 S Alamo St., Unit 100, San Antonio, TX 78204

Applicant's Phone Number: 210-829-1737 Email: _____

Property Owner(s) Name: Mike Hagar

Property Owner(s) Address: 7101 Broadway, San Antonio, TX 78209

Property Owner(s) Phone Number: 210.832.5950 Email: _____

The following items must be submitted along with this application in order to be tentatively scheduled for the next available City Council agenda.

- Letter of authorization (if applicable)
- Letter introducing the property owner/developer, architect, and the general scope of the project.
- Conceptual Plans (max. 11"x17") as intended to present to the Architectural Review Board for preliminary review
- Electronic file of all documents listed above, including application, on a USB if submitting in person

Applicant/Owner understands the following:

1. This Notice of Intent is merely to provide notification to the City Council of pending large-scale projects as they begin the development review process.
2. The large-scale development review process may entail City Council requesting the applicant to conduct public meetings prior to commencing the formal boards and commissions submission and review process.

Applicant/Owner signature: Benjamin Rosas Date: 01/06/2025



ARCHITECTURE INTERIORS EXTERIORS
LANDSCAPE ARCHITECTURE PLANNING
210-829-1737 Office
LPADesignStudios.com
1811 South Alamo Street, Suite 100
San Antonio, Texas 78204

NOT FOR REGULATORY APPROVAL
PERMITTING OR CONSTRUCTION

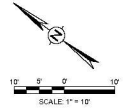
Cambridge Elementary School

1001 Townsend Ave
San Antonio, TX 78209



PROJECT NUMBER
31975

Submittal	Date
SCHEMATIC DESIGN	07/12/2024
DESIGN DEVELOPMENT	11/01/2024
65% CONSTRUCTION DOCUMENTS	12/06/2024



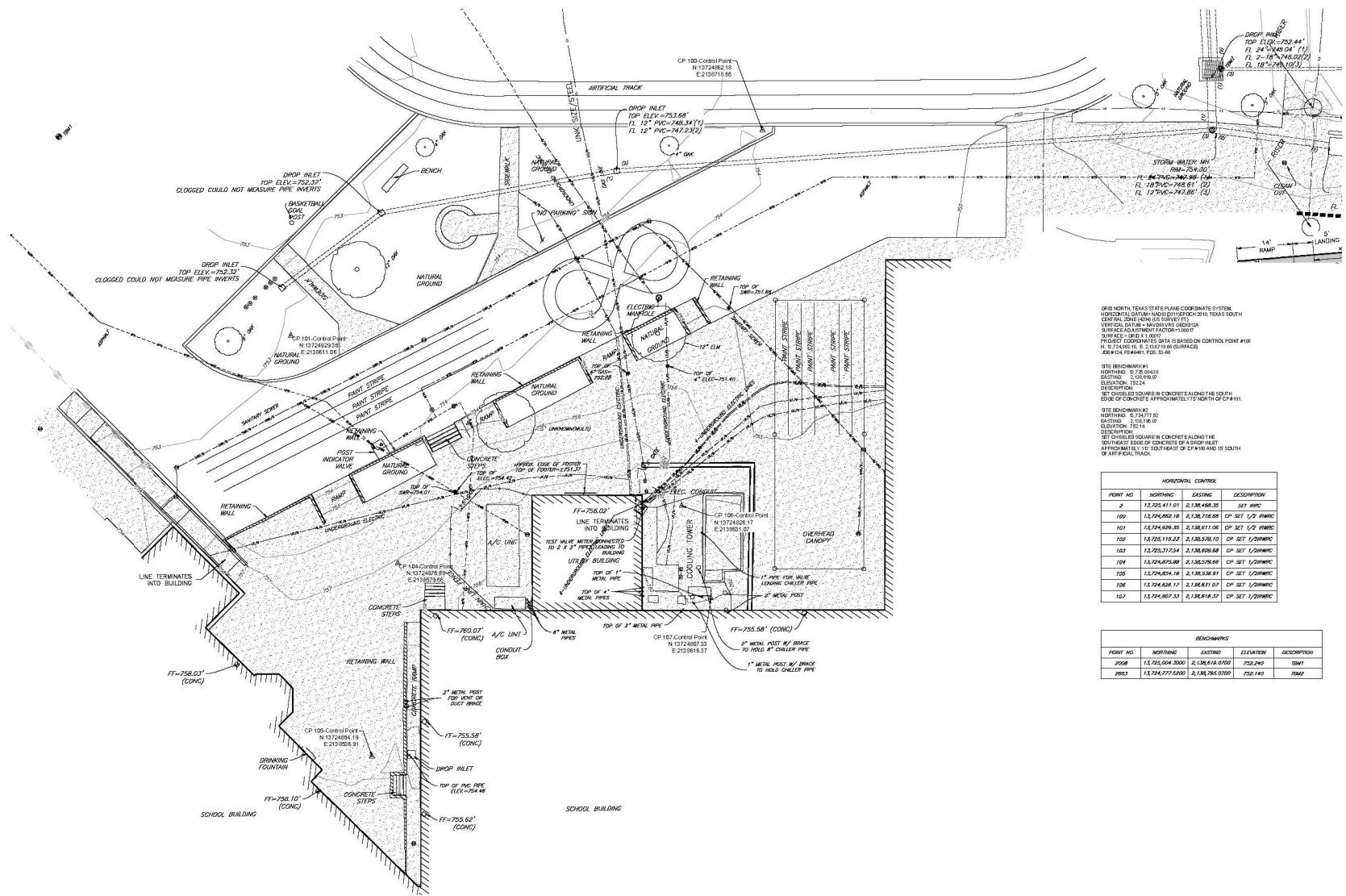
LPA
 ENGINEERS | SURVEYORS
 210-B29-1737 Office
 LPAdesign@studios.com
 1811 South Alamo Street, Suite 100
 San Antonio, Texas 78204

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 ENGINEERS | SURVEYORS
 3014 Loop 1604, Ste. 200, San Antonio, TX 78201
 (210) 381-7888, (210) 333-1027 FAX

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- LEGEND**
- EXISTING**
- POWER POLE
 - GUY WIRE
 - TYPING SIGNAL POLE
 - LIGHT POLE
 - GROUND LIGHT
 - ELECTRICAL MANHOLE
 - ELECTRICAL PEDestal
 - ELECTRICAL METER
 - ELECTRICAL TOWER
 - ELECTRICAL JUNCTION BOX
 - GAS VALVE
 - GAS METER
 - FAUCET
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - SPRINKLER HEAD
 - IRRIGATION CONTROL VALVE
 - COMMUNICATION PEDestal
 - COMMUNICATION PULL BOX
 - TELEPHONE PEDestal
 - TELEPHONE MANHOLE
 - TELEPHONE POLE
 - SANITARY SEWER MANHOLE
 - SANITARY CLEAN OUT
 - STORM DRAIN MANHOLE
 - MISCELLANEOUS MANHOLE
 - SANITARY SEWER PIPELINE
 - NATURAL GAS PIPELINE
 - FIRE PIPELINE
 - WATER PIPELINE
 - IRRIGATION PIPELINE
 - UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - OVERHEAD ELECTRIC
 - UNDERGROUND COMMUNICATION
 - OVERHEAD COMMUNICATION
 - ▭ EXISTING BUILDING
 - ▭ EXISTING CONCRETE

GRID NORTH TEXAS STATE PLANE COORDINATE SYSTEM
 HORIZONTAL DATUM: NAD83 (1983) (NAD 83)
 VERTICAL DATUM: NGVD 83 (1988) (NGVD 83)
 SURFACE ADJUSTMENT FACTOR=1.0007
 DATUM SHIFT (EAST) = 0.0007
 PROJECT COORDINATES DATA IS BASED ON CONTROL POINT #10
 N. 1372486.18, E. 2139816.66
 JOB # 24-19-041, PGS. 25-26

STE BENCHMARK #1
 NORTHING: 2139816.66
 EASTING: 1372486.17
 ELEVATION: 752.14
 DESCRIPTION:
 SET CHISEL SQUARE IN CONCRETE ALONG THE SOUTH
 EDGE OF CONCRETE APPROXIMATELY 17' NORTH OF CP #10.

STE BENCHMARK #2
 NORTHING: 2137486.23
 EASTING: 1372486.17
 ELEVATION: 752.14
 DESCRIPTION:
 SET CHISEL SQUARE IN CONCRETE ALONG THE
 SOUTH-EAST EDGE OF CONCRETE OF A DRAIN ALIET
 APPROXIMATELY 12.10' EAST OF CP #10 AND TO THE SOUTH
 OF ARTIFICIAL TRACK.

POINT NO.	NORTHING	EASTING	DESCRIPTION
100	2137486.23	1372486.17	CP SET 1/2" IRVING
101	2137486.23	1372486.17	CP SET 1/2" IRVING
102	2137486.23	1372486.17	CP SET 1/2" IRVING
103	2137486.23	1372486.17	CP SET 1/2" IRVING
104	2137486.23	1372486.17	CP SET 1/2" IRVING
105	2137486.23	1372486.17	CP SET 1/2" IRVING
106	2137486.23	1372486.17	CP SET 1/2" IRVING
107	2137486.23	1372486.17	CP SET 1/2" IRVING

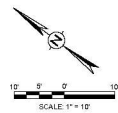
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
2058	2137486.23	1372486.17	752.14	BM #1
2053	2137486.23	1372486.17	752.14	BM #2

- LEGEND OF U.G. UTILITY TYPES**
- COMMUNICATIONS
 - AT&T (FIBER)
 - CAMERON GAS (FIBER/DUCT)
 - ORANGE GAS (FIBER/DUCT)
 - AT&T (FIBER/DUCT)
 - AT&T (FIBER)
 - CAMERON GAS (FIBER/DUCT)
 - ORANGE GAS (FIBER/DUCT)
 - AT&T (FIBER/DUCT)
 - GAS / PETROLEUM
 - CPS
 - CPS
 - CPS
 - ELECTRIC / POWER
 - CPS
 - POTABLE WATER
 - ALAMO HEIGHTS
 - ALAMO HEIGHTS
 - SANITARY SEWER
 - ALAMO HEIGHTS
 - ALAMO HEIGHTS
 - ARMBROUED UTILITY
 - UNKNOWN UTILITY

Cambridge Elementary School
 1001 Townsend Ave
 San Antonio, TX 78209
 Developed by
 Alamo Heights BSD

Date	Revision

Job Number: 124169
 Checked By: KRK
 Scale:



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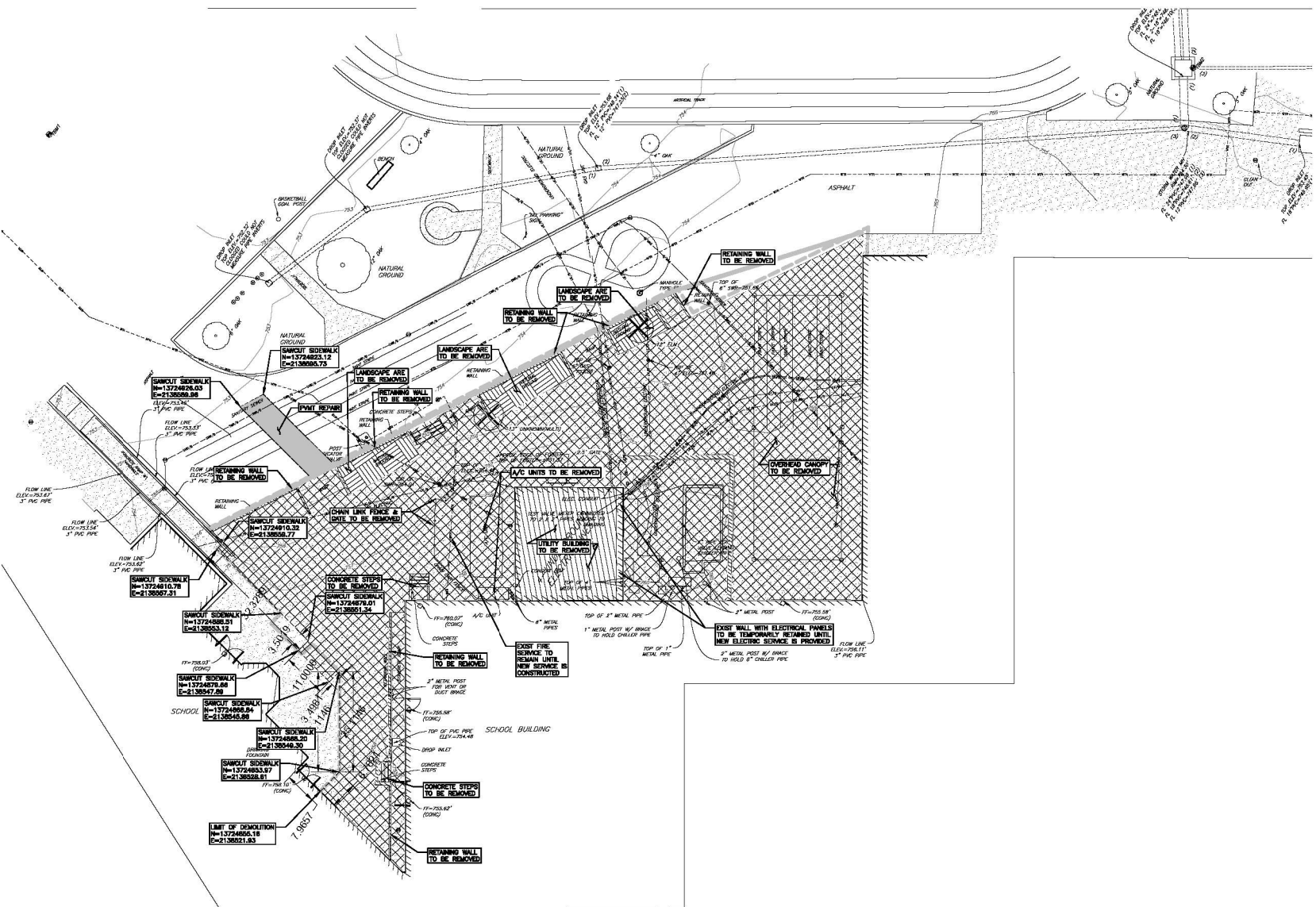
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LEGEND

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- WATER PIPELINE
- IRRIGATION PIPELINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- UNDERGROUND COMMUNICATION
- OVERHEAD ELECTRIC
- OVERHEAD COMMUNICATION

- EXISTING BUILDING
- EXISTING CONCRETE
- DEM LEGEND
- DASHED LINE DEM-OUT EXISTING COMMUNICATION PULL BOX
- DOTTED LINE LIMITS OF DEMO WORK
- CROSS-HATCH DEMO CONCRETE
- DIAHAGONAL HATCH DEMO EXISTING BUILDING
- CIRCLES WITH X TREES TO BE DEMOTED

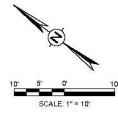


Cambridge Elementary School
 1001 Townsend Ave
 San Antonio, TX 78209
 Developed for
 Alamo Heights ISD

Revision	Date	By

Job Number	124169
Checked By	KRR
Scale	

DEMOLITION PLAN



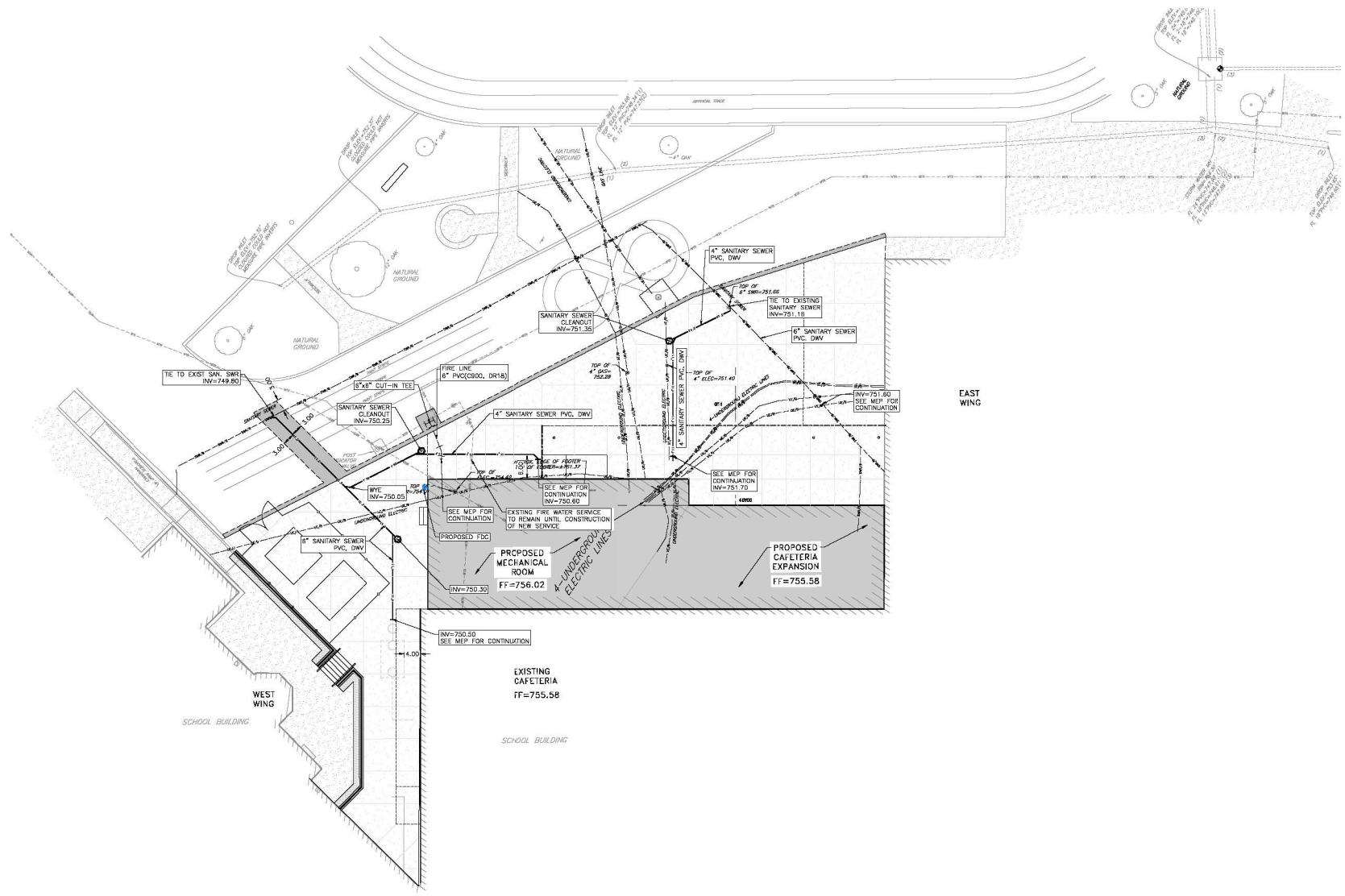
LEGEND

- EXISTING**
- POWER POLE
 - QUT WIRE
 - TRAFFIC SIGNAL POLE
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 - GROUND LIGHT
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 - OVERHEAD ELECTRIC
 - FIBER OPTIC
 - UNDERGROUND COMMUNICATION
 - OVERHEAD COMMUNICATION
- EXISTING BUILDING**
- EXISTING CONCRETE**

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Cambridge Elementary School

1001 Townsend Ave
San Antonio, TX 78209

Developed for
Alamo Heights ISD

Revision	Date

Drawn	DATE
Checked	DATE
Designed	DATE
Reviewed	DATE
Approved	DATE

Job Number 124159
Checked By KRR
Scale

UTILITY PLAN

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ARCHITECTURE ENGINEERING INTERIOR DESIGN
LANDSCAPE ARCHITECTURE PLANNING
210-829-1737 Office
LPADesignStudios.com
1811 South Alamo Street, Suite 100
San Antonio, Texas 78204

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LPA, INC.
ARCHITECT: BENJAMIN ROSAS
TO ARCH. REG. NO. 3778

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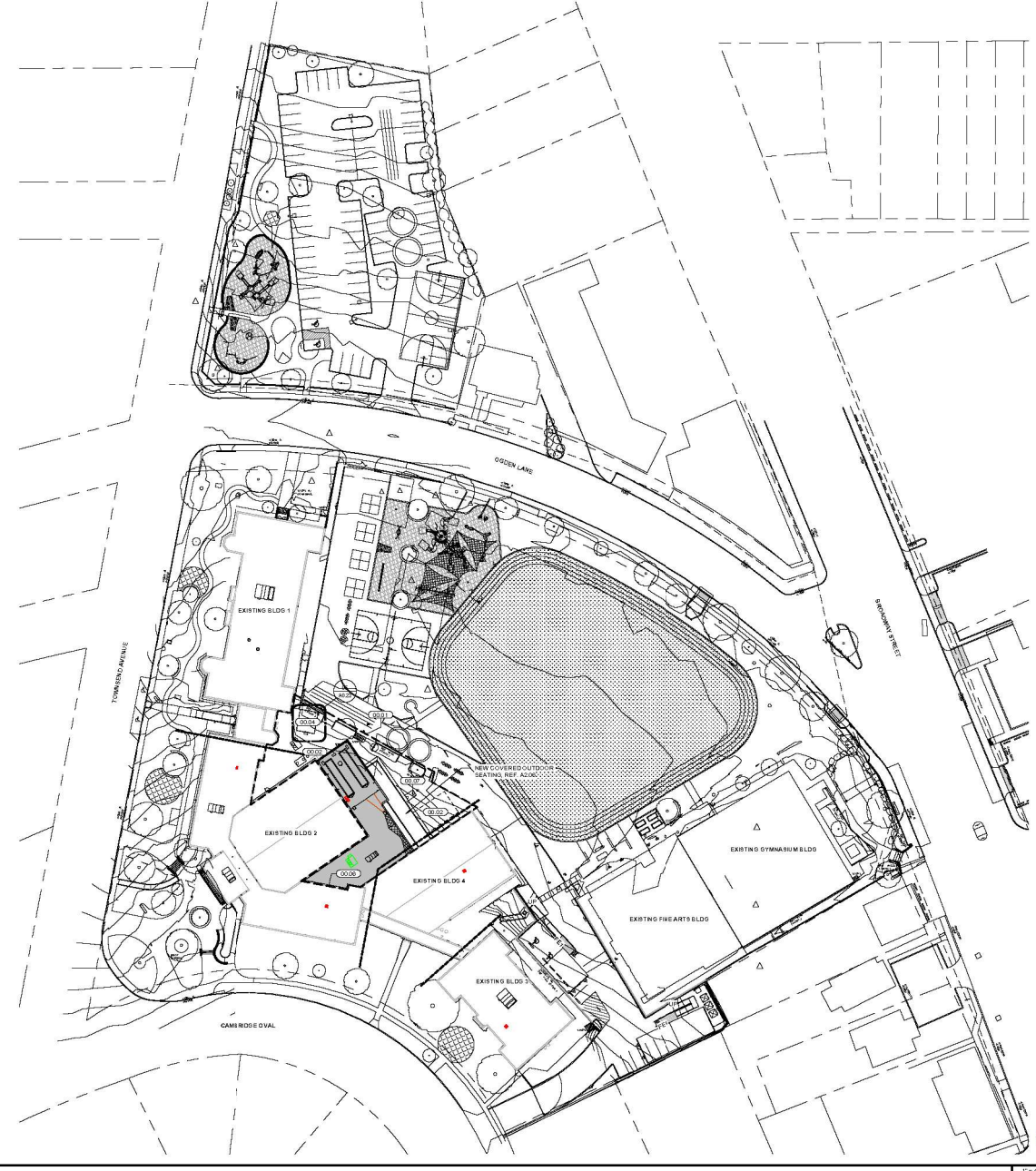
NUMBER	TEXT
00.01	LIMIT OF CONSTRUCTION FOR NEW ADDITION AND ASSOCIATED SITE WORK.
00.02	NEW PLAYWORK AND LANDSCAPE AROUND ADDITION. REF. CIVIL.
00.03	NEW TRANSFORMER TANKS.
00.06	BUILDING EXPANSION JOINT. REF. STRUCTURAL.
00.07	NEW GREASE INTERCEPTOR. REF. MEP.

LEGEND

- MAGNARY PROPERTY LINE
- LIMIT OF WORK (L.O.W.)
- NOT IN SCOPE OF WORK.
- EXISTING BUILDING - RENOVATION WORK AS DESCRIBED
- DEMOLISH AND REMOVE EXISTING SITE FEATURES. REF. CIVIL.
- DEMOLISH AND REMOVE PORTION OF EXISTING BUILDING COORDINATE WITH OWNER FOR EQUIPMENT/MATERIAL PRESERVATION PRIOR TO DEMOLITION.

GENERAL NOTES

1. PROTECT IN PLACE ALL EXISTING TREES.
2. REFER TO CIVIL DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, ALL FLATWORK, PAVING, GRADING, AND UTILITY CONNECTIONS.
3. REFER TO MEP AND TECHNOLOGY DRAWINGS FOR ADDITIONAL SCOPE OF SITE DEMOLITION AND NEW WORK.
4. REFER TO STRUCTURAL FOR ALL FOUNDATION WORK.
5. CONTRACTOR TO COORDINATE STUDENT AND STAFF ACCESS TO/FROM EXISTING BUILDINGS AND PORTABLES THROUGHOUT CONSTRUCTION.
6. ALL AREAS USED TO ACCESS SITE AND FOR LAY DOWN SHALL BE RETURNED TO ORIGINAL CONDITION WHEN CONSTRUCTION IS COMPLETE.
7. VERIFY ALL EXISTING GRADES WITH NEW FLATWORK AND PAVEMENT. REF. CIVIL DRAWINGS.
8. NOTIFY AND COORDINATE WITH OWNER IN A TIMELY MANNER PRIOR TO ANY POWER, WATER, OR SEWER OUTAGES.



CAMPUS SITE PLAN 1" = 40' 05

Cambridge Elementary School

1001 Townsend Ave
San Antonio, TX 78209
Developed for
Alamo Heights ISD

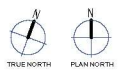
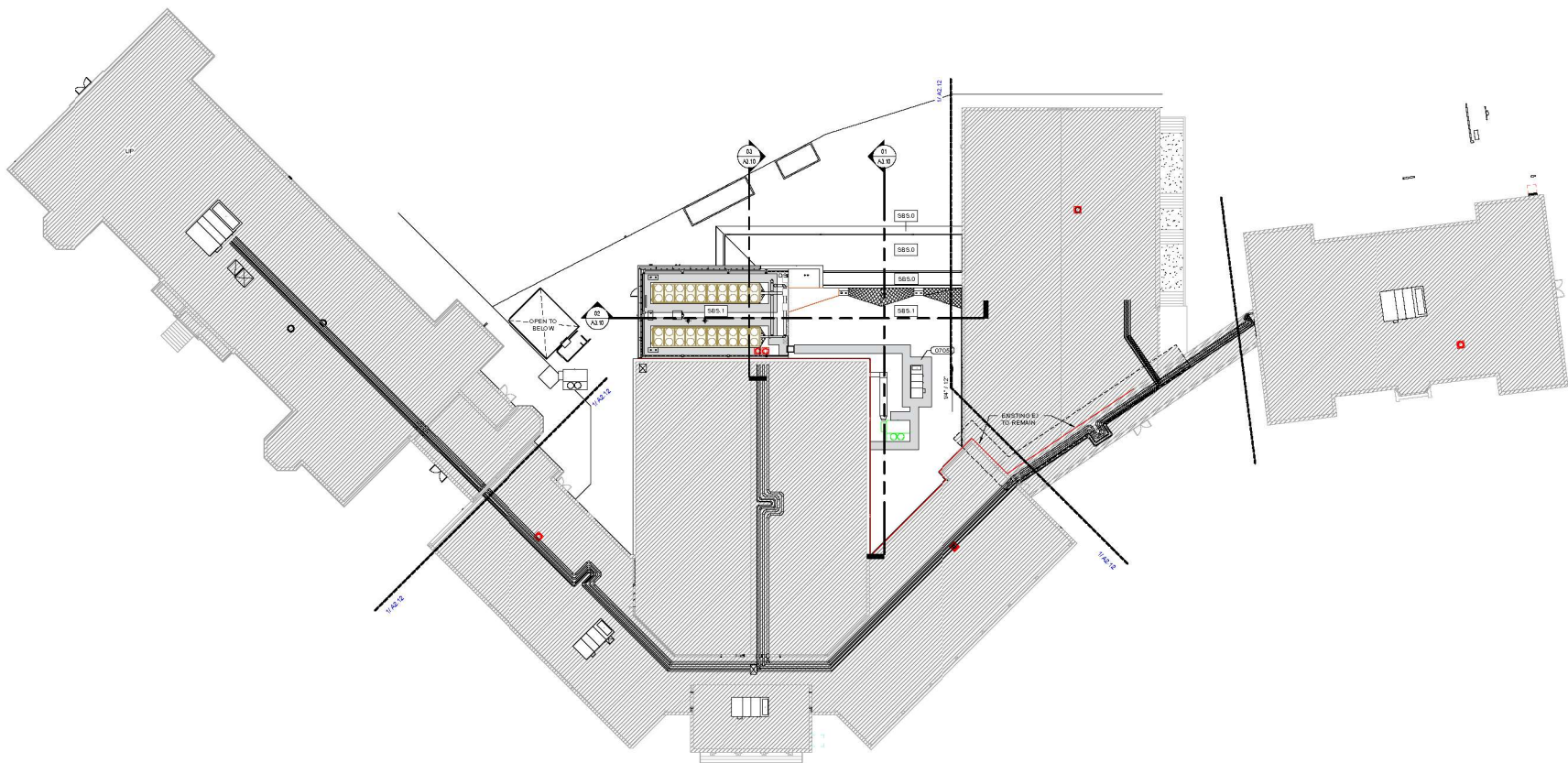
Date	
Revision	

Date	
Revision	

JOB NUMBER: 31975
CHECKED BY: Checker
SCALE: As indicated

CAMPUS SITE PLAN

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COMPOSITE ROOF PLAN 1/8" = 1'-0"

Cambridge Elementary School
 1001 Townsend Ave
 San Antonio, TX 78209
 Developed for
 Alamo Heights ISD

Revision	Date

DATE	3/15/25
DESIGN	ROSAS
DRAWING	ROSAS
REVISION	
DATE	
DESIGN	
DRAWING	
REVISION	

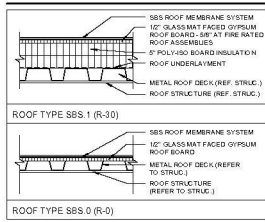
Job Number	31975
Checked By	Checker
Scale	As indicated

COMPOSITE ROOF PLAN

GENERAL NOTES

- BACKGROUND DRAWINGS ARE BASED ON AVAILABLE EXISTING INFORMATION. CONTRACTOR TO FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION. REPORT ANY CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITIONS, FINISHED TO MATCH EXISTING CONDITIONS.
- PROVIDE REPAIR EXISTING ROOF AS WELL AS NEW PENETRATIONS. ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE AND FOR THE CONVENIENCE OF THE CONTRACTOR. GENERAL CONTRACTOR RESPONSIBLE FOR FINAL COORDINATION OF SIZE AND LOCATION OF CURBS, PIPING, CONDENSATE PENETRATIONS, AND ALL OTHERS REQUIRED ROOF PENETRATIONS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE A MINIMUM 4" CLEARANCE BETWEEN PENETRATIONS, WALLS, AND WALLS AS REQUIRED FOR THE PROJECT. IF CONFLICTS WITH THIS REQUIREMENT ARISE, CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ARCHITECT.
- SEE MEP DRAWINGS FOR NEW ROOF MOUNTED EQUIPMENT AND ROOF MOUNTED EQUIPMENT. MAINTAIN 10" MINIMUM FROM VTR TO AIR INTAKES.
- ALL ROOF FLASHINGS SHALL CONFORM WITH "SMACNA" AND "NIBCA" REQUIREMENTS.
- ALL DOWNSPUTS TO BE 6"x3" UNLESS NOTED. CONNECT ALL DOWNSPUTS TO DOWNSPUT BOOT SPECIFIED. REFER TO CIVIL.
- PROVIDE SPLASH BLOCKS BELOW ALL DOWNSPUT TERMINATIONS NOT CONNECTED TO STORM WATER DRAIN SYSTEM. PROVIDE SPLASH PANS ON ROOF ONLY.
- PROVIDE GUTTER EXPANSION JOINTS 5' MAX CENTERED BETWEEN DOWNSPUTS AND ON BUILDING EXPANSION JOINTS. REFER TO DETAIL ALSO AND SMACNA LAP TYPE GUTTER EXPANSION JOINT FOURS 1 & 2.
- CRACKS AND SAGS SHALL BE TYPED IN THE ADJACENT ROOF SLOPE, MIN. 1/2" WIDE.
- PROVIDE TAPERED CRACKS ON HIGH SIDE OF CURBED PENETRATIONS AS REQ'D TO DIRECT DRAINAGE AWAY FROM PENETRATION.
- PROVIDE TAPERED PROTECTION AT ROOF ACCESS POINTS AND OVERALL SLOPE OF SERVICEABLE EQUIPMENT.
- ENSURE THAT THE SLOPE AT THE VALLEY OF ALL TAPERED INSULATION CRACKS IS NO LESS THAN 1/4" PER FOOT.
- EXISTING ROOF TO REMAIN IN PLACE UNLESS REQUIRED TO REMOVE FOR INSTALLATION OF NEW EQUIPMENT. CONTRACTOR TO VERIFY IN FIELD EXTENTS OF SOLAR REMOVAL, IF REQUIRED TO REMOVE. ALL SOLAR WALLS BE REMOVED WHEN WORK IS COMPLETE.
- REFER TO MEP FOR ALL NECESSARY ROOF MOUNTED HVAC PIPING. CONTRACTOR TO UTILIZE EXISTING PIPE CURBS IF NO. NEW CURBS MAY BE REQUIRED DEPENDING ON FINAL PIPING LAYOUT.

ROOF TYPE



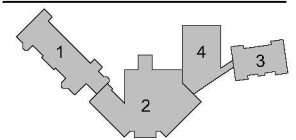
KEYNOTES

NUMBER	TEXT
07-08	WALK PAD. TAKE TO ALL ROOF MOUNTED EQUIPMENT. TYP.

LEGEND

[Symbol]	ROOF TYPE	[Symbol]	THROUGH WALL SCUPPER
[Symbol]	ROOF SLOPE (DOWN)	[Symbol]	SPLASH BLOCK
[Symbol]	ROOF CRACK WITH BUILT-UP INSULATION, SLOPE AT THREE ROOF SLOPE MINIMUM	[Symbol]	SPLASH PAN
[Symbol]	4'-0" WIDE ROOF WALK PADS	[Symbol]	EXPANSION JOINT
[Symbol]	ROOF DRAIN WITH OVERFLOW, REF. PLUMBING	[Symbol]	VENT THRU ROOF
[Symbol]	ROOF LADDER, REF. 14A&21	[Symbol]	DOWNSPOUT, 6"x3"
[Symbol]	ROOF ACCESS HATCH, REF. 14A&21	[Symbol]	ROOF DRAIN, REF. DETAIL
[Symbol]	AREA OF ROOF NOT IN SCOPE	[Symbol]	

KEYPLAN



Attachment A

KEYNOTES

NUMBER	TEXT
0702	ROOF ACCESS HATCH, REF. 19A6.21
0703	ROOF LADDER, REF. 14A6.21
0704	EXISTING DOWNSPOUT TO REMAIN, CURTAIN END BOTTOM AS REQUIRED TO DISCHARGE ONTO NEW ROOF BELOW.
0705	WALK PANE, TIE TO ALL ROOF MOUNTED EQUIPMENT, TYP.
0706	PRE-FINISHED 4" DIA. STD. PIPE DOWNSPOUT STRAPPED TO COLUMN BEYOND DAYLIGHT TO SKY.
0707	PRE-FINISHED 20 GA. GUTTER, 6" X6"
0708	PRE-FINISHED 8" X12" DOWNSPOUT
2201	ROOF DRAIN WITH OVERFLOW, REFER TO PLUMBING.

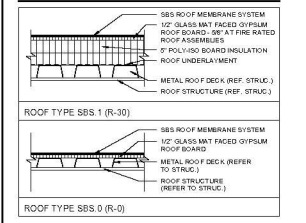


ARCHITECTURE: BENJAMIN ROZAS
LANDSCAPE ARCHITECTURE: TRAVINE
210-829-1373 OFFICE
LPA Design Studios, Inc.
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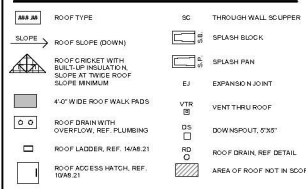
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LPA, INC.
ARCHITECT: BENJAMIN ROZAS
TO ARCH. REG. NO. 5778

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ROOF TYPE



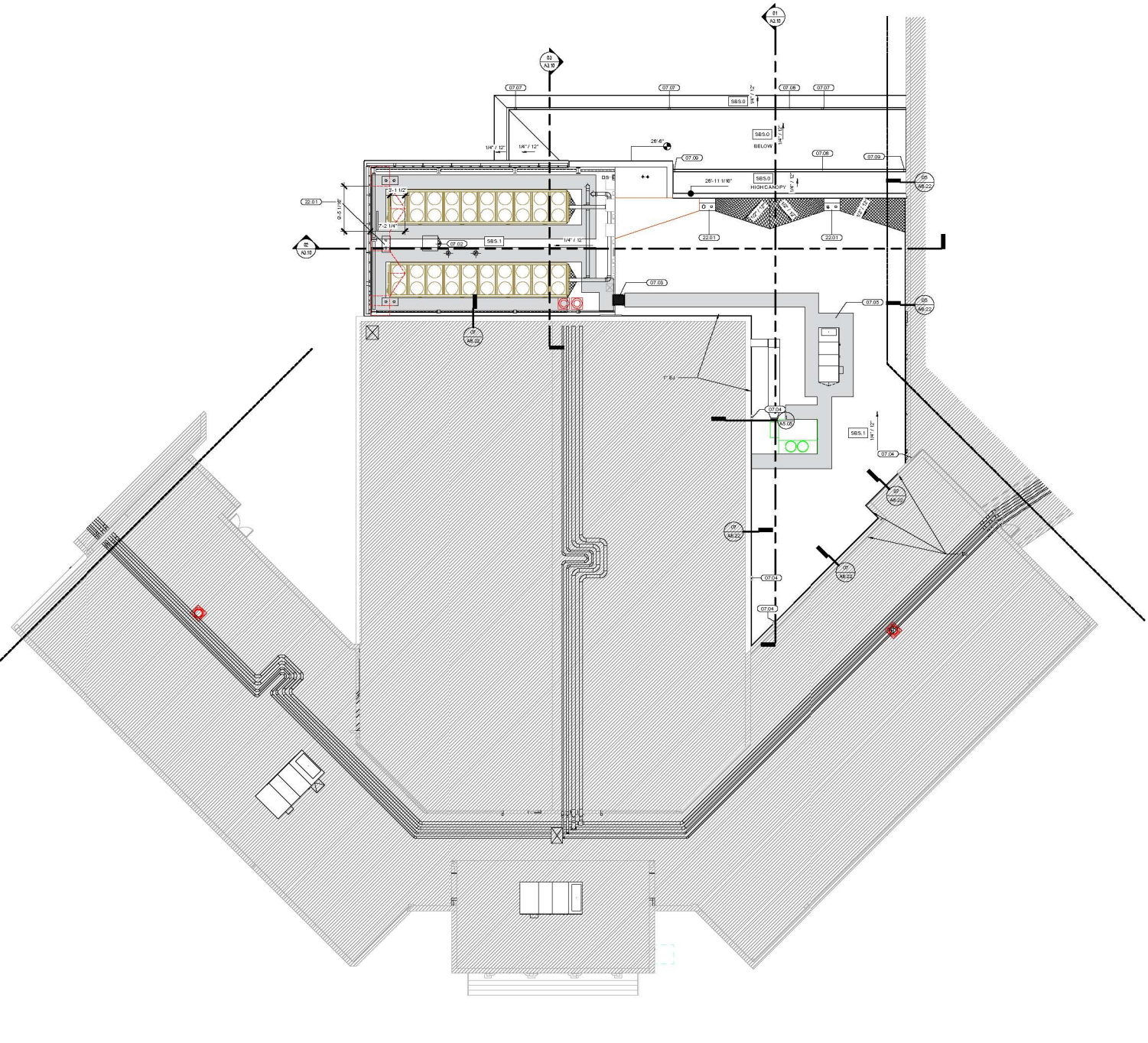
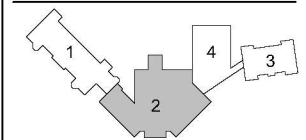
LEGEND



GENERAL NOTES

- BACKGROUND DRAWINGS ARE BASED ON AVAILABLE EXISTING INFORMATION. CONTRACTOR TO FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- EXISTING CONDITIONS DAMAGED OR REMOVED AS A RESULT OF ALL WORK REQUIRED TO BE DONE UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITIONS FINISHED TO MATCH ADJACENT SURFACES.
- WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE PROJECT DOCUMENTS. ROOF PENETRATIONS SHOWN ARE SCHEMATIC IN NATURE AND FOR THE CONVENIENCE OF THE CONTRACTOR. OWNER SHALL BE RESPONSIBLE FOR FINAL COORDINATION OF SIZE AND LOCATION OF CURBS, PRECONDUIT PENETRATIONS, AND ALL OTHER REQUIRED ROOF PENETRATIONS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE A MINIMUM 5' CLEARANCE BETWEEN PENETRATIONS, VALLEYS AND WALLS AS REQUIRED FOR THE PROJECT. IF CONFLICT WITH THIS REQUIREMENT ARISES CONTRACTOR TO CONSULT WITH THE ARCHITECT.
- SEE MEP DRAWINGS FOR NEW ROOF MOUNTED EQUIPMENT AND ROOF MOUNTED EQUIPMENT MAINTAIN 18" MINIMUM PIER TO AIR INTAKES.
- ALL ROOF FLASHINGS SHALL COMFORM WITH "SMACNA" AND "TRCA" REQUIREMENTS.
- ALL DOWNSPOUTS TO BE 30" DIA. CONNECT ALL DOWNSPOUTS TO DOWNSPOUT BOOTS/SPICES. REFER TO DETAIL AB-20.
- PROVIDE SPLASH BLOCKS BELOW ALL DOWNSPOUT TERMINATIONS NOT CONNECTED TO STORM WATER DRAIN SYSTEM. PROVIDE SPLASH PANS ON ROOF ONLY.
- PROVIDE GUTTER EXPANSION JOINTS 50 MM DIA CENTERED BETWEEN DOWNSPOUTS AND ON BUILDING EXPANSION JOINTS. REFER TO DETAIL AB-20 AND BASIC ALL THE GUTTER EXPANSION JOINT SQUARE LEG.
- CRACKS IN THE FLASHINGS SHALL BE TYPED THE ADJACENT ROOF SLOPE MIN.
- PROVIDE TAPERED CRACKS ON HIGH SIDE OF CURBED PENETRATIONS AS REQUIRED TO DIRECT DRAINAGE AWAY FROM PENETRATION.
- PROVIDE TRAFFIC PROTECTION AT ROOF ACCESS POINTS AND ON ALL SIDES OF SERVICEABLE EQUIPMENT.
- ENSURE THAT THE SLOPE AT THE VALLEY OF ALL TAPERED INSULATION CURBS TO BE NO LESS THAN 1/8" PER 1'-0".
- EXISTING SOLAR TO REMAIN IN PLACE UNLESS REQUIRED TO REMOVE FOR INSTALLATION OF NEW EQUIPMENT. CONTRACTOR TO VERIFY IN FIELD CONDITIONS OF SOLAR REMOVAL. IF REQUIRED TO REMOVE, ALL SOLAR WILL BE REINSTALLED WITH NEW BONDING.
- REFER TO MEP FOR ALL NECESSARY ROOF MOUNTED HVAC PIPING. CONTRACTOR TO UTILIZE EXISTING PIPING CURVES AND NEW CURVES MAY BE REQUIRED DEPENDING ON FINAL PIPING LAYOUT.

KEYPLAN



ROOF PLAN - BUILDING 2 1/8" = 1'-0" 1

Cambridge Elementary School
1001 Townsend Ave
San Antonio, TX 78209
Developed for
Alamo Heights ISD

Date	Revision	Description

Job Number: 31975
Checked By: Checker
Scale: As indicated

ROOF PLAN - BUILDING 2



ARCHITECTURE INTERIORS
 WINDOW ARCHITECTURE PAINTING
 210-829-1737 Office
LPA Design Studios
 1811 South Alamo Street, Suite 100
 San Antonio, Texas 78204

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 OR CONSTRUCTION.
 ARCHITECTURE: RISM #6-16703
 LPA, INC.
 ARCHITECT: BENJAMIN ROSAS
 TO ARCH. REG. NO. 27706

GENERAL NOTES

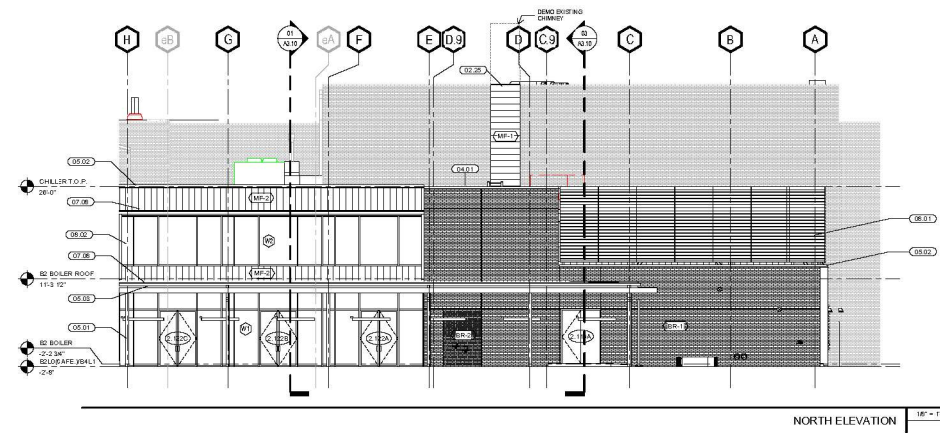
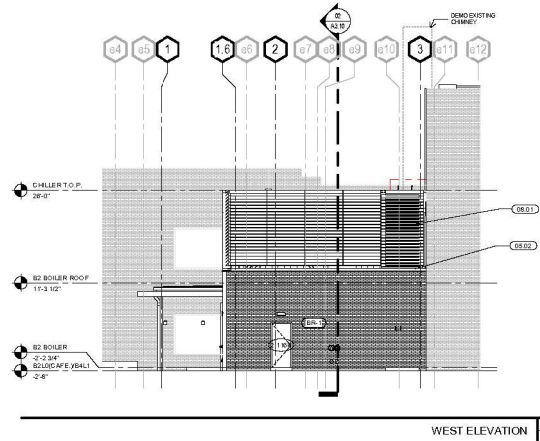
1. DOORS AND WINDOWS AS SCHEDULED. REFER TO A6.11 AND A6.21.
2. REFER TO STRUCTURAL FOR ALL STRUCTURAL FRAMING.
3. REFER TO MEP FOR ALL EXTERIOR LIGHTING TYPES AND LOCATIONS OF ALL ROOF TOP EQUIPMENT, TYPICAL.
4. GUTTERS AND DOWNSPOUTS AS SPECIFIED, TYPICAL.
5. REFER TO ROOF PLAN AND WALL SECTIONS FOR ROOF ASSEMBLIES AND ROOF DETAILS.
6. CONTRACTOR TO VERIFY AND COORDINATE ALL EXTERIOR METAL PANEL CONTROL JOINTS AND REVEAL JOINTS PRIOR TO FABRICATION AND INSTALLATION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
7. ALL EXPOSED STEEL AND GALVANIZED STEEL TO BE PAINTED COLOR DETERMINED BY ARCHITECT.
8. PROVIDE DOWNSPOUT BOOTHS AT ALL DOWNSPOUTS. TOP OF ALL BOOTHS TO BE SET AT 2'-0" ELEVATION ABOVE FINISH FLOOR. COORDINATE DOWNSPOUT BOOT LENGTH WITH FINISH GRADE.
9. EXPOSED CONCRETE EDGES TO RECEIVE RUBBED AND SEALED CONCRETE FINISH.
10. REFER TO CALL FOR FINISHED GRADE.
11. CONTRACTOR TO VERIFY AND COORDINATE ALL EXTERIOR CONTROL JOINTS AND REVEAL JOINTS PRIOR TO FABRICATION AND INSTALLATION AND NOTIFY ARCHITECT OF ALL DISCREPANCIES.

LEGEND

- MP-1
 FLUSH SEAM METAL WALL PANEL
 MANUF: BERNEIDE (BASIS OF DESIGN)
 PROFILE: L-PANEL (INSTALL HORIZONTALLY)
 MATL: 24 GA
 FINISH: KYNAR 800
 COLOR: SEE SPECS
- MP-2
 FLUSH SEAM METAL WALL PANEL
 MANUF: BERNEIDE (BASIS OF DESIGN)
 PROFILE: L-PANEL (INSTALL VERTICALLY)
 MATL: 24 GA
 FINISH: KYNAR 800
 COLOR: SEE SPECS
- MP-3
 METAL WALL / SOFFIT PANEL, INSTALL HORIZONTALLY
 AT FASCIA
 COLOR: SEE SPECS (MATCH WINDOW MULLION COLOR)
- MR-1
 BRICK MASONRY VENEER
 REFER TO SPECS
- MR-2
 CLAY MASONRY VENEER
 REFER TO SPECS
- WP
 WALL PACK LIGHT FIXTURE
 INSTALL AT 10'-6" AFF. UNO.
- PK-1
 EXTERIOR PAINT
 COLOR: AS SELECTED BY ARCHITECT

KEYNOTES

NUMBER	TEXT
02.25	PATCH EXISTING WALL WHERE CHIMNEY IS REMOVED WITH METAL WALL PANEL.
04.01	CAST STONE PARAPET COPING.
05.01	HIGH PERFORMANCE COATED EXPOSED STRUCTURAL STEEL FRAMING REFER TO STRUCTURE.
05.02	PREFINISHED METAL COPING.
05.03	STEEL FRAMED CANOPY WITH METAL PANEL SOFFIT. REFER TO REFLECTED PLUMB PLAN.
07.06	PREFINISHED 20 GA GUTTER, 8"x8"
06.01	PREFABRICATED ACOUSTICAL MECHANICAL AIR INTAKE LOUVER.
06.02	QUANDS AND FRAME AS SCHEDULED.



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J20 Number: 31975
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 Scale: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

Attachment A



LPA ARCHITECTURE INTERIORS DESIGN LANDSCAPE ARCHITECTURE PLANNING 210-829-1737 Office LPADesignStudios.com 1811 South Alamo Street, Suite 100 San Antonio, Texas 78204

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NUMBER	TEXT
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LEGEND

-----	MAGINARY PROPERTY LINE
-----	LIMIT OF WORK (L.O.W.)
[Hatched Box]	NOT IN SCOPE OF WORK
[Dotted Box]	EXISTING BUILDING - RENOVATION WORK AS DESCRIBED
[Dark Grey Box]	DEMOLISH AND REMOVE EXISTING SITE FEATURES. REF: CIVIL
[Light Grey Box]	DEMOLISH AND REMOVE PORTION OF EXISTING BUILDING COORDINATE WITH OWNER FOR EQUIPMENT/MATERIAL PRESERVATION PRIOR TO DEMOLITION.

- GENERAL NOTES**
- PROTECT IN PLACE ALL EXISTING TREES.
 - REFER TO CIVIL DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK. ALL FLATWORK, PAVING, GRADING, AND UTILITY CONNECTIONS.
 - REFER TO MEP AND TECHNOLOGY DRAWINGS FOR ADDITIONAL SCOPE OF SITE DEMOLITION AND NEW WORK.
 - REFER TO STRUCTURAL FOUNDATIONAL FOUNDATION WORK.
 - CONTRACTOR TO COORDINATE STUDENT AND STAFF ACCESS TO/FROM EXISTING BUILDINGS AND PORTABLES THROUGHOUT CONSTRUCTION.
 - ALL AREAS USED TO ACCESS SITE AND FOR LAY DOWN SHALL BE RETURNED TO ORIGINAL CONDITION WHEN CONSTRUCTION IS COMPLETE.
 - VERIFY ALL EXISTING GRADES WITH NEW FLATWORK AND PAVEMENT. REF: CIVIL DRAWINGS.
 - NOTIFY AND COORDINATE WITH OWNER IN A TIMELY MANNER PRIOR TO ANY POWER, WATER, OR SEWER OUTAGES.



PORTABLES SITE PLAN | 1" = 20'-0" | 2



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PORTABLES SITE PLAN

