



CITY OF ALAMO HEIGHTS
COMMUNITY DEVELOPMENT SERVICES DEPARTMENT
6116 BROADWAY
SAN ANTONIO, TX 78209
210-826-0516

**Board of Adjustment Meeting
Wednesday, March 05, 2025 – 5:30 P.M.**

Take notice that a regular meeting of the Board of Adjustment of the City of Alamo Heights will be held on **Wednesday, March 05, 2025, at 5:30pm** in the City Council Chambers, located at 6116 Broadway St, San Antonio, Texas, 78209, to consider and act upon any lawful subjects which may come before it.

*INSTRUCTIONS FOR TELECONFERENCE: The City will make reasonable efforts to allow members of the public to participate via audio by dialing 1- 346-248-7799 and enter access number 893 9488 9735#. If you would like to speak on a particular item, when the item is considered, press *9 to “raise your hand”. Citizens will have three (3) minutes to share their comments. The meeting will be recorded.*

The City cannot guarantee participation by phone due to unforeseen technical difficulties or provide prior notice if they occur; therefore, the City urges your in-person attendance if you require participation.

Case No. 2431 – 211 Kennedy Ave

Application of Jack Dabney, owner, requesting the following self-identified variance(s) in order construct a new detached garage on the property located at **CB 4024 BLK 31 LOT 12, 13, AND 14**, also known as **211 Kennedy Ave**, zoned SF-A:

1. A proposed 0ft rear yard setback instead of the minimum 3ft required per Section 3-16(3) of the City’s Zoning Code.

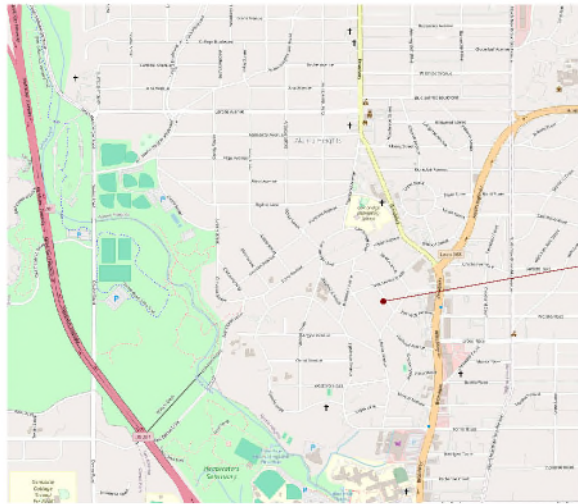
Plans may be viewed online* (www.alamoheightstx.gov/departments/planning-and-development-services/public-notices) and at the Community Development Services Department located at 6116 Broadway St. You may also contact Dakotah Procell, Planner, (dprocell@alamoheightstx.gov) or Lety Hernandez, Director, (lhernandez@alamoheightstx.gov) by email or our office at (210) 826-0516 for additional information regarding this case. Please note floor plans will not be available online.

NEW RESIDENCE

211 KENNEDY AVE. ALAMO HEIGHTS, TEXAS 78209

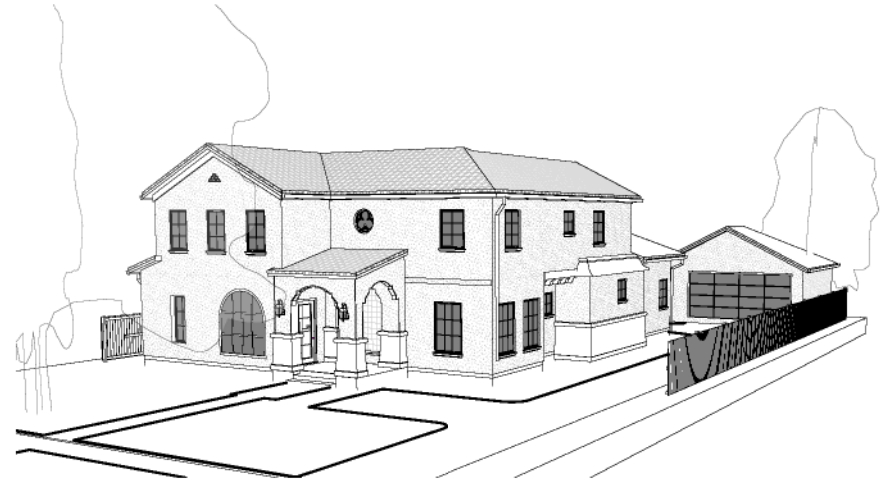
DATE: 02.16.25

PROJECT LOCATION



PROJECT LOCATION
ALAMO HEIGHTS
211 KENNEDY

BUILDING RENDERING



DIRECTORY

DESIGN STUDIO:
BAVStudios Inc.
8118 Broadway
San Antonio, TX 78209
210.416.6469

PROJECT CONSTRUCTION MANAGER:
Dabney Home & Remodeling
100 Cardinal Ave
San Antonio, TX 78209
512.426.4400

INTERIOR DESIGNER:
Dylynn Decar
5007 McCullough Ave
San Antonio, TX 78212
210.971.7912
Dylynn@DylynnDecars.com

STRUCTURAL ENGINEER:
UNIVERSAL STRUCTURAL ENGINEERS, LLC
4414 CEMERVIEW DR.
SAN ANTONIO, TX 78228

LANDSCAPE ARCHITECT:
T.R.D.

SHEET INDEX

NUMBER	NAME
A.00	COVER
A.01	GENERAL NOTES
A.02	SITE PLAN
A.03	SLAB PLAN
A.04	FLOOR PLAN 1
A.07	ELEVATIONS
A.08	ELEVATIONS
A.09	CONTEXT PHOTOS
A.15	ELECTRICAL PLAN - LEVEL 1
A.16	SPECIFICATIONS
A.40	WALL SECTIONS/DETAILS
x2.0	DEMOLITION PLAN
X.01	PERSPECTIVES
X.09	SECTIONS
X.10	SECTIONS
X.13	WALL SECTIONS

PROJECT INFORMATION

MAX "UP"	SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE
0.40	0.25	R-30	R-24 + R-3 C	R-21	0

- F. SPRAY FOAM INSULATION UTILIZED THE MINIMUM THICKNESS OF OPEN CELL FOAM (R-25) (CATHEDRAL C.G. WHERE CONSTRUCTION)
- NO 5/8" PENETRATOR INSULATION IS REQUIRED IN THIS CLIMATE ZONE
- R-3 PPE INSULATION FOR ALL HOT WATER PIPING
- ALL HOT WATER REDUCING SYSTEMS MUST HAVE OCCUPANT SENSOR & MANUAL CONTROL
- ATTIC VENTILATION IS PROHIBITED IF IT WERE TO INTRODUCE UNCONDITIONED AIR INTO LOCATIONS WITHIN THE THERMAL ENVELOPE

HOUSE ATTIC IS PART OF THE BUILDING ENVELOPE - CI PROVIDED
CI = CONTINUOUS INSULATION

ICC ENERGY CODE NOTES

THIS RESIDENCE IS DESIGNED IN COMPLIANCE WITH THE 2015 IECC. THE INFORMATION PROVIDED HERE IS A SUMMARY. THE BUILDER IS RESPONSIBLE FOR ASSURING COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.

GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR COMPLIANCE OF ALL ENERGY CODE REQUIREMENTS HVAC DESIGN MANUAL J (DAD), MANUAL S (EQUIPMENT SELECTION), MANUAL D (DISTRIBUTION DESIGN), AND REQUIRED TESTING/INSPECTIONS. GC TO PROVIDE CODE COMPLIANCE DOCUMENTATION/RESULTS TO THE OWNER.

HVAC MINIMUM REQUIREMENTS

1. 8" AIR FIGHT / 1" R-5 EFF. AIR SOURCE HEAT PUMP, ENERGY STAR CERTIFIED WITH ELECTRIC BACKUP IF REQUIRED AND 3" ID FOR MANUAL J
2. MECHANICAL FRESH AIR VENTILATION IS REQUIRED
3. R-10 DUCT INSULATION IS REQUIRED IF OUTSIDE THE THERMAL ENVELOPE
4. DUCT SEALING MUST BE DONE IN ACCORDANCE WITH THE MECHANICAL CODE (MVCI - ALL SEAMS, JOINTS, BOOT, START COLLARS & ALL CONNECTIONS. ONLY MASTIC AND U-BIWA OR B TAPES ARE ALLOWED FOR SEALING)
5. HVAC CONTRACTOR TO PROVIDE A COPY OF THE MANUAL J & MANUAL D TO THE BUILDER, THE ARCHITECT, AND THE OWNER
6. ALL HVAC UNITS TO BE TESTED BY CERTIFIED THIRD PARTY CONTRACTORS. TEST REPORT WILL BECOME PART OF FINAL MECHANICAL DOCUMENTATION. ICC INT. 102.4.11
7. ENVELOPE TESTING (BLOWER DOOR) & ACH50 IN CFS 1.62 AND 5 ACH50 IN CFS 3.04 PER ENERGY STAR GUIDELINES
8. TOTAL DUCT LEAKAGE SHALL BE ≤ 8 CFM25 PER 100 SQ. FT. OF CONDITIONED FLOOR AREA (CFA) AND DUCT LEAKAGE TO OUTDOORS SHALL BE ≤ 4 CFM25 PER 100 SQ. FT. OF A PER ENERGY STAR GUIDELINES
9. SUPPLIES BALANCED TO WITHIN 20% OF DESIGN
10. NO MORE THAN 1 PASCAL PRESSURE DIFFERENCE BETWEEN ROOM AND OPEN AREA(S)
11. HVAC SYSTEM STATIC PRESSURES LESS THAN 0.8" WC FOR GAS FURNACE, 0.6" FOR HEAT PUMPS
12. SYSTEM FILTERS - MERV 8 (MINIMUM IF FLEATED FILTERS MEET THIS REQUIREMENT)
13. APP-BASED PROGRAMMABLE THERMOSTAT SHALL BE INSTALLED UNLESS THERMOSTAT CONTROLS A ZONE WITH ELECTRIC RADIANT HEAT, FOR WHICH MANUAL THERMOSTATS ARE ALLOWED.

JURISDICTION:
CITY OF ALAMO HEIGHTS, BEAVER COUNTY, TEXAS
DEVELOPMENT AREA 5A-1

FIRE PROTECTION:
VPI, FIRE SPRINKLING WITH OWNER AS WELL AS CITY AND COUNTY REQS.

APPLICABLE CODES

- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2020 NATIONAL ELECTRICAL CODE WITH LOCAL AMENDMENTS and current adoption of the following as applicable
- 2021 INTERNATIONAL MECHANICAL CODE
- INTERNATIONAL SWIMMING POOL & SPA CODE
- 2021 INTERNATIONAL PLUMBING CODE
- INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- INTERNATIONAL ENERGY CONSERVATION CODE
- INTERNATIONAL PROPERTY MAINTENANCE CODE

ALL APPLICABLE CITY OF ALAMO HEIGHTS RESOLUTIONS AND AMENDMENTS AS APPLICABLE ALL OTHER APPLICABLE LEGAL, COUNTY, STATE, & FEDERAL CODES, LAWS, AND REGULATIONS

FLOOR AREA

2535 FIRST FLOOR
1234 SECOND FLOOR
110 FRONT PORCH
181 REAR PORCH
822 GARAGE
4646 TOTAL

ROOF COVERAGE

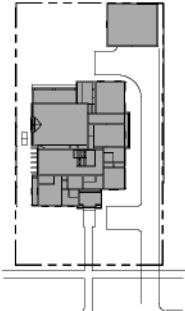
ALLOWABLE 40%
4012
SITE
10000
COVERED AREA
3400
BUILDING COVERAGE
345

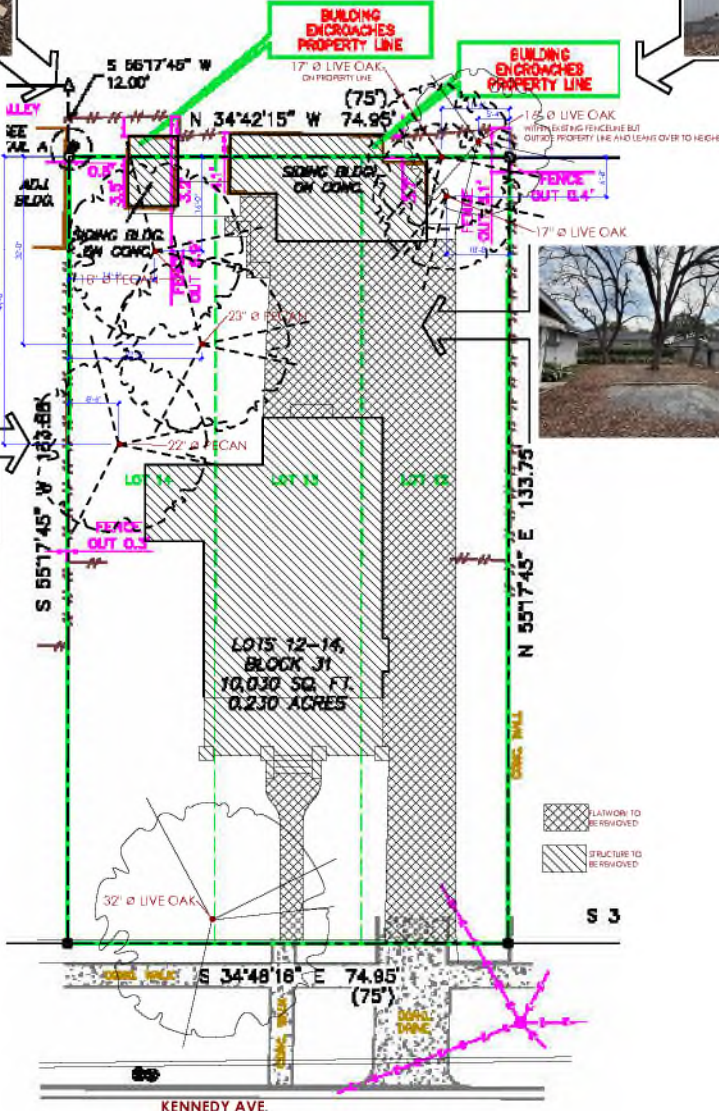
ROOF AREA RATIO (FAR)

3 stories
45
one story garage
+02
adjusted
=4714 MAX

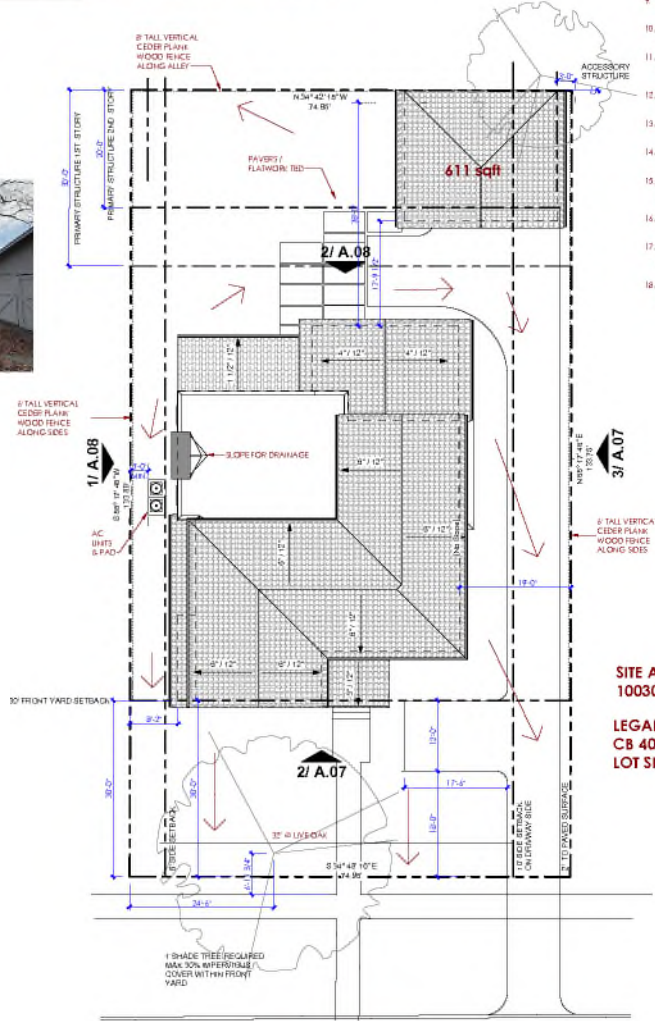
SITE TOTALS

10000
TOTAL SQFT
-4646
F.A.R.
46





2 EXISTING SITE PLAN / DEMOLITION PLAN
1" = 10'-0"



1 PROPOSED SITE PLAN / ROOF PLAN
1" = 10'-0"

GENERAL SITE NOTES

- BUILDER TO RECAPTURE TOP OF FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQUIRED
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER
- EXPOSED FOUNDATIONS TO BE MINIMUM OF 8" AND A MAXIMUM OF 18" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS, UNDER ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FOOTPRINT OR 10'-0" BEYOND THE SIDE PROPERTY LINES
- UTILITY LINE LOCATIONS ARE APPROXIMATE. GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS
- VERIFY METERS AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PUC LAYOUT LOCATIONS PRIOR TO COMMENCING WORK
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS. DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION
- CARTRIDGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANNUAL ACCESS.
- LOCATION OF HAZARDOUS AND EXTERIOR DRIVEWAY LIGHTS TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OWNERS AND REFER FOR SAVES TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN SP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

SITE AREA
10030 SQFT

LEGAL DESCRIPTION:
CB 4024 BLK 31 LOT 12 13 AND 14
LOT SIZE: 0.230 AC. (10030 SQFT)

REVISIONS

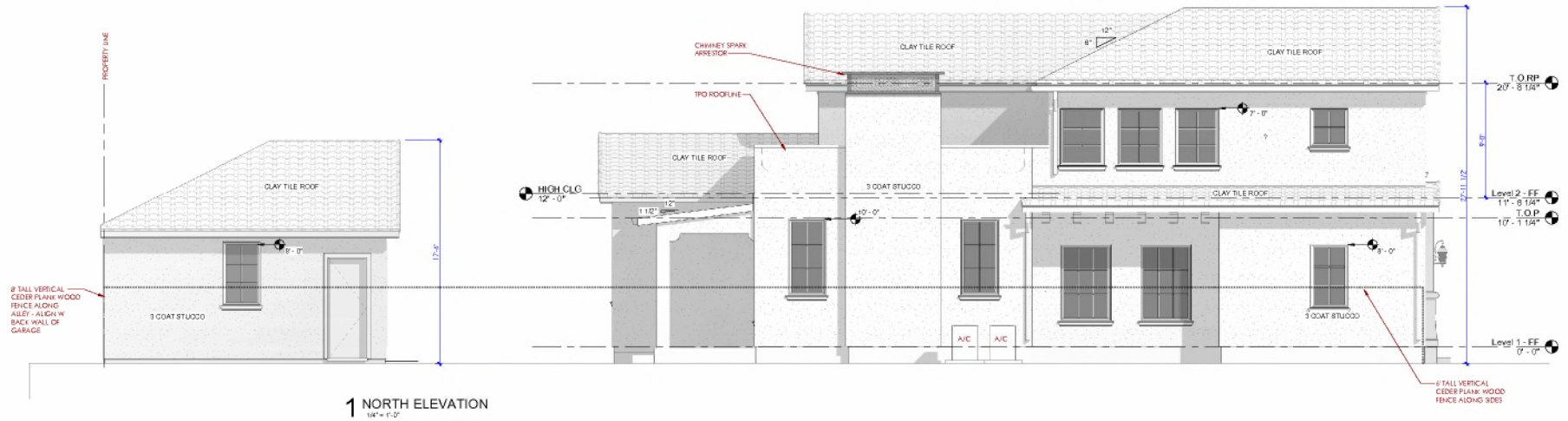
SITE PLAN
NEW RESIDENCE
211 KENNEDY
211 KENNEDY AVE. ALAMO HEIGHTS, TEXAS 78209

BAM STUDIOS

8118 DORSETT
SAN ANTONIO, TX 78209
PH: 210-419-6486

DRAWN BY: SAG
DATE: 02/16/20
CHECKED BY: SAG
PROJECT: 241004
SCALE: As Indicated
SHEET #
A.02

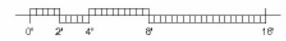
REV	DESCRIPTION



1 NORTH ELEVATION
14' x 11'-0"



2 EAST ELEVATION
14' x 11'-0"

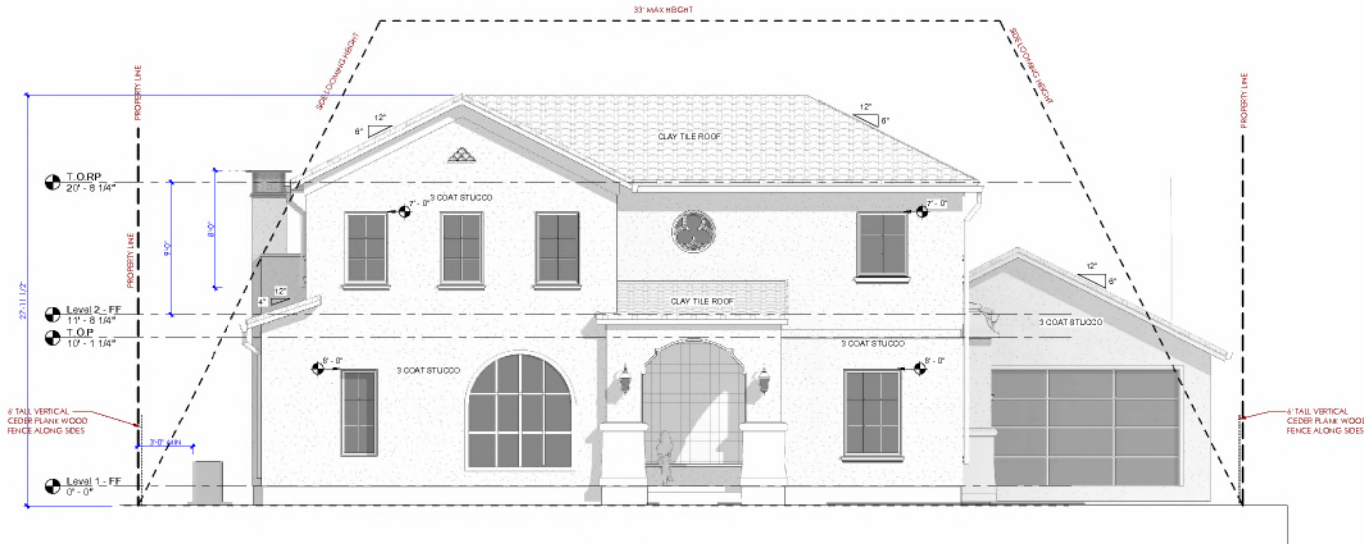


ELEVATIONS
 NEW RESIDENCE
211 KENNEDY
 211 KENNEDY AVE. ALAMO HEIGHTS, TEXAS 78209

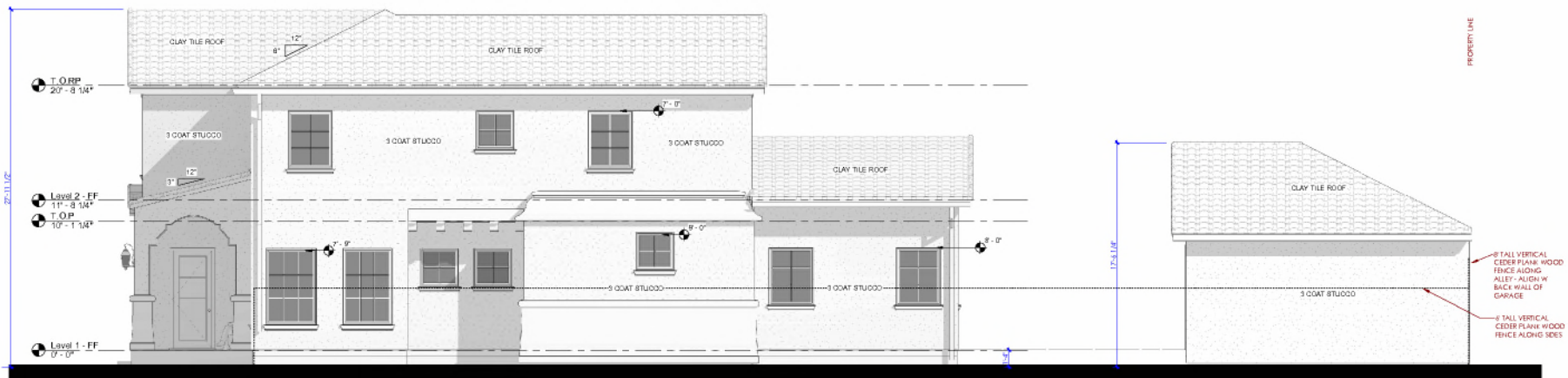


DRAWN BY: SAG
 DATE: 03/16/25
 CHECK BY: Chabert
 PROJ #: 241004
 SCALE: 1/4" = 1'-0"
A.08

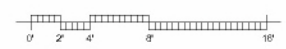
REV	DATE	BY	CHKD	DESCRIPTION



2 WEST ELEVATION
18' x 11'0"



3 SOUTH ELEVATION
18' x 11'0"



ELEVATIONS
 NEW RESIDENCE
211 KENNEDY
 211 KENNEDY AVE. ALAMO HEIGHTS, TEXAS 78209



DRAWN BY: SAG
 DATE: 02/16/20
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 PROJ # 241004
 SCALE: 1/4" = 1'-0"
A.07

REVISIONS

EXISTING



205 KENNEDY



211 KENNEDY



219 KENNEDY



205 KENNEDY



211 KENNEDY



219 KENNEDY



202 KENNEDY - OPPOSITE OF PROJECT LOCATION

CONTEXT PHOTOS
 NEW RESIDENCE
211 KENNEDY
 211 KENNEDY AVE. ALAMO HEIGHTS, TEXAS 78209

BAM
 STUDIOS
 8118 DOWLANDWAY
 SAN ANTONIO, TX 78209
 PH: 210-419-9488

DRAWN BY: Author
 DATE: 02/16/25
 CHECKED BY: Chaebar
 PROJ #: 241004
 SCALE:
 SHEET #
A.09